

## Sheila Harris

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**From:** Andrew Howick <xxxxxx.xxxxxx@xxxxxxxxxx.xxx.xx>  
**Sent:** 22 September 2017 14:27  
**To:** Steve Ashdown  
**Subject:** FW: Restoration of "hammerhead" junction at Parkfield Way, Bolnore  
**Attachments:** S278 - 051 REV B PARKFIELD WAY 278 Agreement Plan Phase 1.pdf; S278 - 052 REV B PARKFIELD WAY 278 Agreement Plan Phase 2.pdf

Steve

For info – Dave responded to an enquiry yesterday. I have forwarded this to our FOI team and asked them to send to Mr Carter in the first instance to see if this satisfies his enquiry.

Regards

Andrew

[Andrew Howick](#) | Team Manager – Highway Agreements, Planning Services, [West Sussex County Council](#) | Location: Ground Floor, Northleigh, County Hall, Chichester, PO19 1RH  
Internal: 25704 | External: 033022 25704 | E-mail: [andrew.howick@westsussex.gov.uk](mailto:andrew.howick@westsussex.gov.uk)

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**From:** David Lambert  
**Sent:** 22 September 2017 14:01  
**To:** Andrew Howick  
**Subject:** FW: Restoration of "hammerhead" junction at Parkfield Way, Bolnore

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**From:** David Lambert  
**Sent:** 21 September 2017 15:48  
**To:** [REDACTED]  
**Cc:** Richard Speller  
**Subject:** RE: Restoration of "hammerhead" junction at Parkfield Way, Bolnore

Dear Mr Leon

Richard Speller has asked me to respond to your enquiry regarding the temporary works that took place to facilitate construction vehicle access to Bolnore village.

Crest were granted a licence to construct the temporary widening and island change, together with flaring on the approach to the relief road roundabout as indicated on the attached 'Phase 1' plan. A 'permissive use' agreement was used to secure temporary rights for highway users over the private land.

Under the terms of the licence Crest are also required to construct the Phase 2 works, which involves removing the junction widening works only. You should note that the developer is not required to remove the adjustment to the traffic island, nor remove the flaring on the approach to the roundabout as there is no real benefit to be had by removing these works. I have the power to direct when the phase 2 works will be carried out, and I will do so when heavy site traffic operations come to an end.

Regards

**David Lambert**

Lead Professional, Highway Design, Highway Agreements, Planning Services

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**From:** Richard Speller

**Sent:** 21 September 2017 14:48

**To:** David Lambert

**Subject:** FW: Restoration of "hammerhead" junction at Parkfield Way, Bolnore

David

Can you assist with this enquiry ?

**Richard Speller BEng, CEng, MICE**

Area Manager Highways (Mid-Sussex)

Economy, Infrastructure and Environment

Highways and Transport

West Sussex County Council



**Location:** Southern Area Office, Clapham Depot, Clapham Common, Clapham, West Sussex, BN13 3UR

**Contact:** Internal: 26394 | External: +44 (0)330 222 6394 | E-mail: [richard.speller@westsussex.gov.uk](mailto:richard.speller@westsussex.gov.uk)

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**From:** Xoan-Carlos Leon [REDACTED]

**Sent:** 21 September 2017 14:17

**To:** Richard Speller

**Cc:** Estate; Richard Carter; [REDACTED]

**Subject:** Fwd: Restoration of "hammerhead" junction at Parkfield Way, Bolnore

Dear Richard

I hope you are well. We're trying to find out what the status is of the junction on Parkfield Way. The junction was "temporarily" widened by the developers of Bolnore, Crest Nicholson, so as to facilitate the turning of large construction traffic around this corner. However, with construction due to end in the first half of 2018 we'd like to get some clarity on the matter.

Although this would seem to be a Planning matter for MSDC to deal with, no one at our local Planning office has yet been able to explain what the status of the junction is and whether enforcement action can be taken to ensure that Crest Nicholson reinstate the junction (as well as a small traffic island further up the road) to its original state.

As the layout of the pavement and road has changed bringing both into land that was previously (and presumably still is) privately owned, would you be able to confirm whether this has any implications on the

“adoptable status” of the road and pavement and whether you think this could oblige Crest Nicholson to reinstate the junction? Surely it’s highly unusual for part of an adopted, pavement, a street light and road to run over the course of privately owned land?

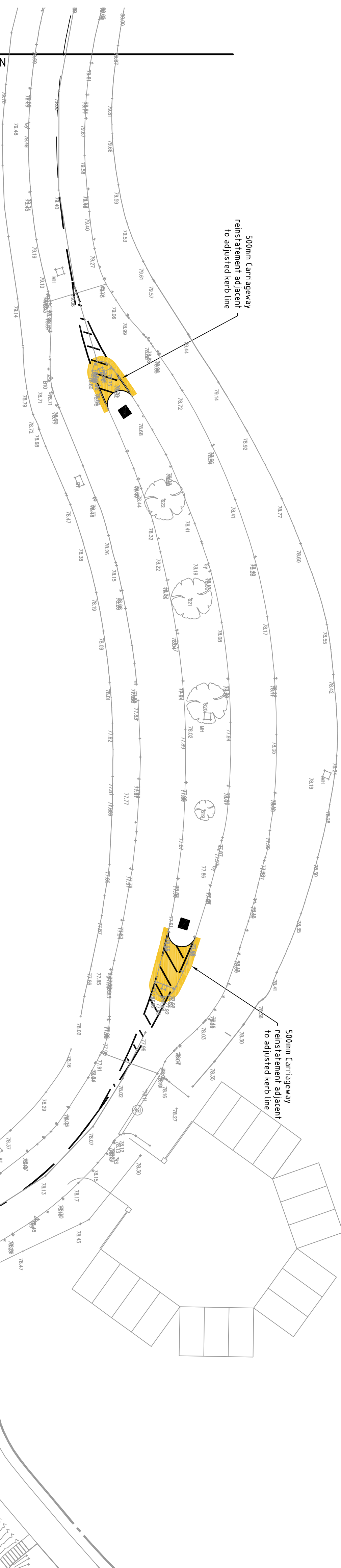
The junction in its present state is dangerous (we’d argue that it’s the only "motorway junction" in a residential area) and encourages dangerous parking and speeding well in excess of the 20mph speed limit. I’ve attached photos of how it looked in 2009 in its original state and again in 2011 just before the widening work was completed.



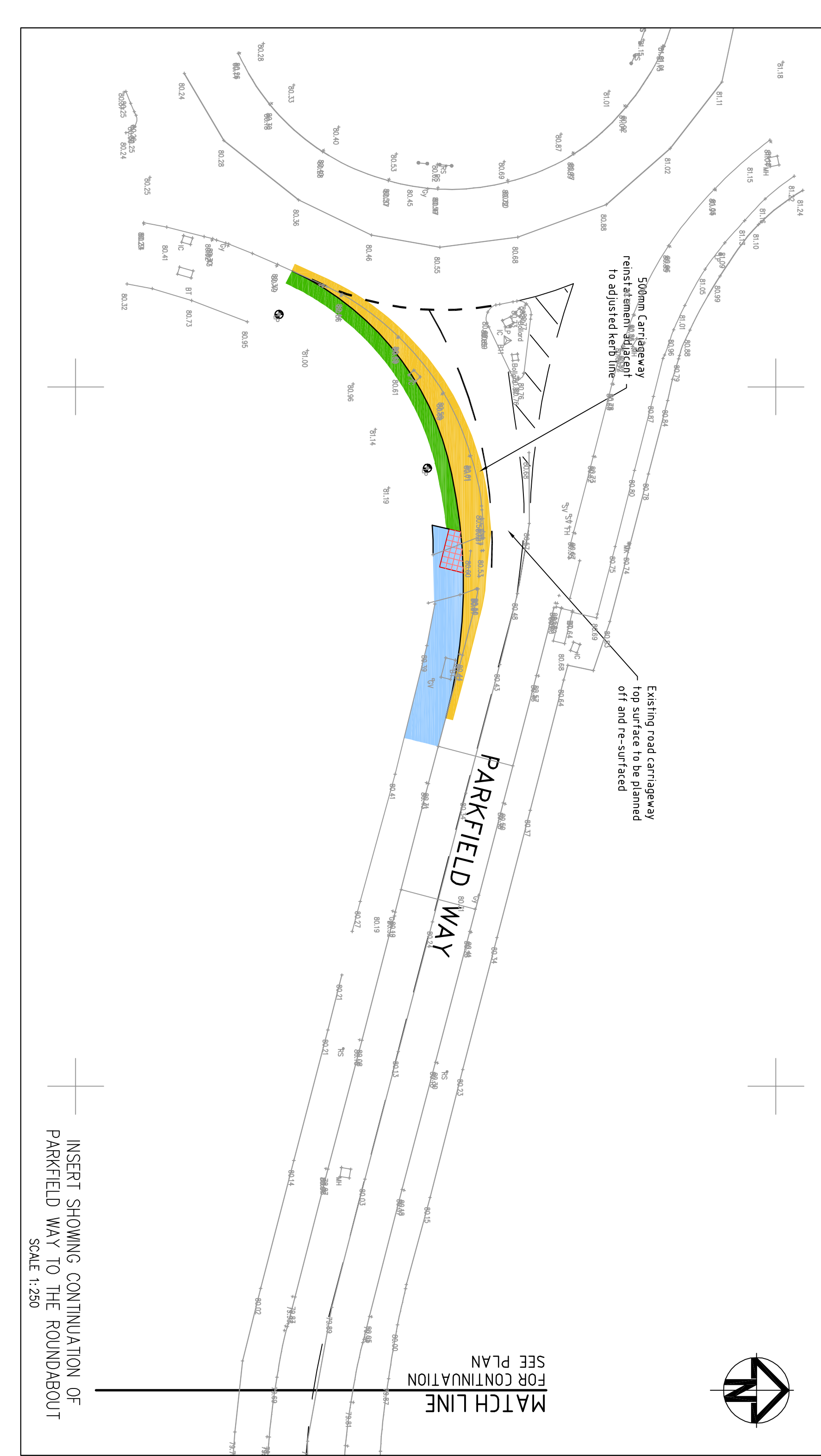


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500mm Carriageway  
reinstatement adjacent  
to adjusted level line



SCALE 1:250

WORKS AT THE PARKFIELD WAY JUNCTION ARE TEMPORARY FOR THE DURATION OF PHASE 1. THE JUNCTION WILL BE REINSTATED TO ITS EXISTING LAYOUT.

Temporary junction layout

500m Carriageway to be reinstated to its existing layout

POND SIDE

PARKFIELD WAY (NORTH)

PLAN SHOWING PARKFIELD WAY NORTH AT ITS JUNCTION WITH POND SIDE

SCALE 1:250

SCALE 1:250

Diagram illustrating the layout of a street section, showing various elements and their relative positions:


- Carriageway** (Yellow rectangular area)
- Footway** (Blue rectangular area)
- Verge** (Green rectangular area)
- Existing lighting columns to remain** (Two black dots with numbers 1 and 2)
- Lighting column to be relocated** (A black dot with number 3)
- Existing ballards to be relocated** (A black square)
- Extent of the current highway boundary** (A dashed line)

1. No works shall commence until the existing public highway utility has been notified.
2. The agreement is signed by the proposed contractor, shall be duly stamped and countersigned by the Traffic Signs Inspector and the road beackfilled in order to its formation level with selected material of granular material, compacted and to the satisfaction of the WSCC Highway Inspector.
3. All fit material up to foundation level of the proposed highways.
4. Any change caused to the existing highway shall be done to the satisfaction of the WSCC Highway Inspector.
5. The works to be repaired as directed and to the satisfaction of the WSCC Highway Inspector and/or Area Engineer.
6. Continuity of access to occupied areas is to be maintained to the satisfaction of the WSCC Highway Inspector, Area Engineer and/or local Authority.
7. Any abandoned/redundant pipes and chambers that fall within the proposed highway shall be grubbed out and the void backfilled in layers up to formation level (the kerbside) with selected granular material or precast/prefabricated concrete or similar.
8. All redundant connections in existing manholes/chambers that are affected by the works shall be sealed and the benching made good as required by the WSCC Highway Inspector.
9. The existing gutters at the kerbside may adjoining works shall be grubbed out and replaced with new guttering to the satisfaction of the WSCC Highway Inspector.
10. Any existing live manholes, chambers, boxes, etc. that will be cleared as required by the WSCC Highway Inspector.
11. Any existing live manholes, chambers, boxes, etc. that will be altered within the proposed condition shall be surveyed to ascertain their structural condition and suitability to fall within the proposed formation level and if found unsuitable they shall be removed or replacement may be required as directed and to the satisfaction of the WSCC Highway Inspector, Area Engineer and/or Utility Company involved.
12. Developer/contractor to provide suitable and effective wheel washing facilities to prevent from tracking over onto the pavement and the satisfaction of the WSCC Highways Inspector, Area Engineer and/or local authority.
13. On falling excavate/themenator or before the temperature starts cooling Zberg can a riding seat/menimator to be provided by the WSCC Highway Inspector.
14. All adult signs and markings to comply with the Traffic Signs Manual except where agreed by the WSCC Highway Inspector.
15. Additional temporary signing for the purposes of construction Traffic Management shall be provided throughout the duration of the works as required by the WSCC Highways Inspector.
16. All adult markings to be theromoplastic.
17. Contractor to comply with Chapter 8 of the Traffic Signs Manual

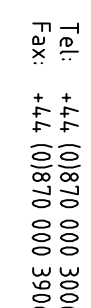
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Current issue signatures		K/L	
Original Size	A1	Checker	
Height		SD	
Datum		Approver	
Grid		Bj6	
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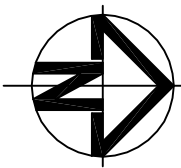
HYDER CONSULTING (UK) LTD  
29 Bressenden Place  
London

# HAYWARDS HEATH OFF SITE WORKS

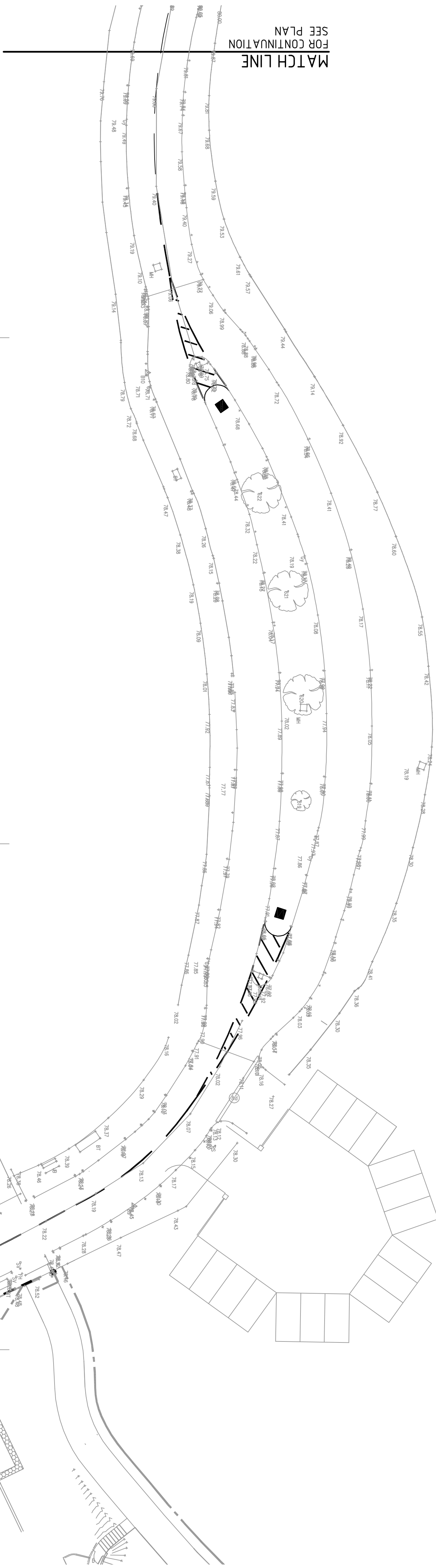
PARKFIELD WAY  
778 LICENCE AGREEMENT  
PLAN - PHASE 1

Drawing No.	Project No.	ISSU
278/051 -	26138 -	B



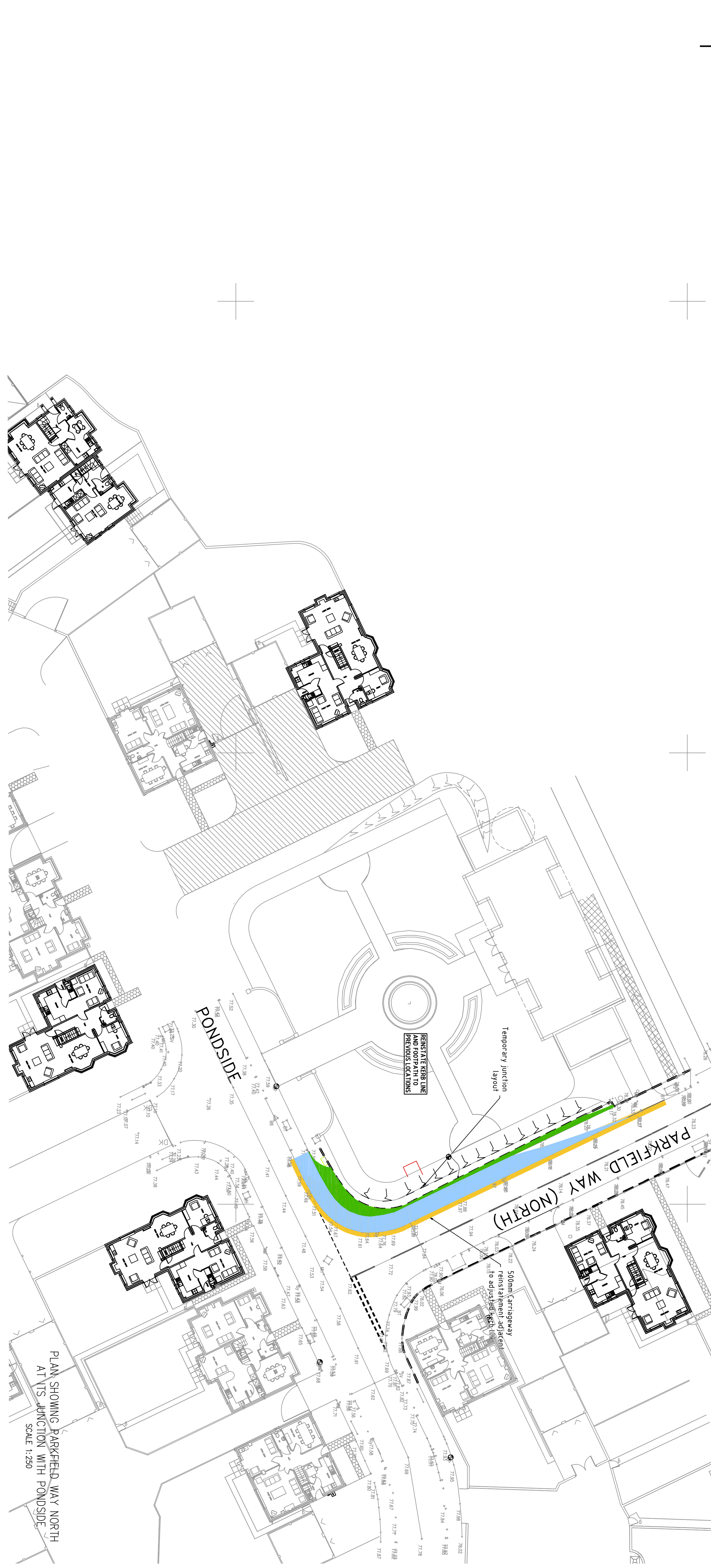



MATCH LINE



SUPPORT DRAWINGS SCHEDULE:		
Drawing Number	Revision	Description
26139 218/051	Rev B	5718 plan Phase 1
26139 218/052	Rev B	5718 plan Phase 2
26139 10	Rev F	General Arrangement
26139 105	Rev A	Permissive Use Plan
26139 405	Rev D	Settling out and contours
26139 405	Rev G	Construction Areas
26139 405	Rev B	Vertical Alignment
26139 901	Rev B	Details
26139 902	Rev B	Details
26139 903	Rev A	Details

1. No work shall commence within the existing public highway until the following conditions are satisfied:
2. Any soft spots within the proposed carriageway shall be dug out and the void sealed with layers up to 100mm level with selected granular material as directed and to the satisfaction of the WSCC Highway Inspector
3. The proposed construction level of the proposed highways to be improved and compacted in layers as directed and to the satisfaction of the WSCC Highway Inspector
4. Any damage caused to the existing highway during the course of the works to be repaired as directed and to the satisfaction of the Highway Inspector and/or Area Engineer
5. The proposed works shall be maintained to the satisfaction of the WSCC Highway Inspector, Area Office Engineer and/or Local Authority
6. Any abandoned/ruddant/pole and chamber that fall within the proposed highway shall be dugbed up and the void sealed/in layers up to 100mm level of the carriageway with selected granular material or permanently fill with concrete for similar strength
7. All redundant components in existing drainage/chamber that are affected by the works shall be sealed and the benching made good as directed and to the satisfaction of the Highway Inspector and/or utility company involved
8. All existing manholes and inspection chambers shall have their existing covers and their openings to the main carrier drain cleared as required by the WSCC Highway Inspector
9. Any existing the manholes, chambers, boxes, etc. that will be located within the proposed construction and suitable to fit within the new highway, deemed necessary, and satisfactory to the Highway Inspector and the WSCC Highway Inspector, shall be maintained to the satisfaction of the WSCC Highway Inspector, Area Engineer and/or Utility Company involved
10. Developer/Contractor to provide suitable and effective wheel washing facilities to prevent mud from being conveyed onto the highway and to the satisfaction of the WSCC Highway Inspector, Area Engineer and/or Local Authority
11. No concrete to be poured or laid in temperatures below 2deg C on a falling main/m, thermometer or before the temperature rises above 2deg C on a rising main/m, thermometer to be provided by the Contractor and displayed in a position agreed by the WSCC Highway Inspector
12. All road signs and markings to comply with the Traffic Signs Manual except where agreed by the WSCC Highway Inspector
13. Additional temporary signing for the purposes of Construction Traffic Management shall be provided throughout the Borneo Village construction works as required by the WSCC Highway Inspector
14. All road sealings to be thermoplastic
15. Contractor to comply with Chapter 8 of the Traffic Signs Manual 2009.



	B	COLORLED HATCHING AMENDED ON JUNCTION TO SLUIT WSCC COMMENT	10.06.11
A	DRAWING 26138 /278/051 SPLT IN TWO DRAWINGS: 26138 /278/051 AND 26138 /278/052	01.06.11	
Issue	Description	Date	Status
<b>PRELIMINARY</b>			
<b>NOT TO BE USED FOR CONSTRUCTION</b>			
Scopes	1/250 @ A1	Current Issue Signatures	
Original Size	A1	Author KUL	
Height Datum	SD	Checker	
Grid		Approver BIG	
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Plings 26138-051 AND 052 REV B PARKFIELD WAY 278 AGREEMENT PL			
Client			
<div> <b>Crest</b> <b>NICHOLSON</b> Crest Nicholson (South) Ltd Crest Nicholson Group Survey, K116 8GN Tel: 01932 358044 Fax: 0870 336 3991</div>			
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Tel: +44 (0)870 000 3906			
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Project			
Title			
PARKFIELD WAY			
S278 LICENCE AGREEMENT			
PLAN - PHASE 2			
Drawing No.	Project No.	Issue	
278/052	26138	B	