



Gibbons, Frances

From: Ronny Ferley <Ronny.Ferley@richmond.gov.uk>
Sent: 23 September 2016 16:37
To: Halisch, Ndai
Subject: RE: Marble Hill House - 16/PO219/PREAPP - 28 September 2016

Follow Up Flag: Follow up
Flag Status: Flagged

Good afternoon Ndai

I am have yet received any comments from our three internal consultees up until now, I sent an e-mail reminder yesterday but have not received any response yet. So I am unable to confirm our meeting, I am not sure if the person you spoke to conveyed that in the message to you, but I can only give you an update once I have all the comments back. Which I will aim to push through early next week.

I do apologise for the delay but will aim to have a meeting scheduled for end of next week.

Thank you.

Kind regards,

Ronny Ferley

-----Original Message-----

From: Halisch, Ndai [<mailto:Ndai.Halisch@english-heritage.org.uk>]
Sent: 22 September 2016 16:23
To: Ronny Ferley
Subject: Marble Hill House - 16/PO219/PREAPP - 28 September 2016

Good afternoon Ronny

I understand from the planning assistant I spoke to earlier today, that we are on track to have our pre-app meeting on the 28th of September as per our conversation on the 13th of September.

The planning assistant did not have any information on the time and the venue of the meeting.

Would you be agreeable to me booking a meeting room at Marble Hill House at 11am?

Kind regards

Ndai Halisch
For English Heritage

Sent from my iPhone

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4

Gibbons, Frances

From: Ronny Ferley <Ronny.Ferley@richmond.gov.uk>
Sent: 27 September 2016 08:58
To: Halisch, Ndai
Subject: RE: Marble Hill House - 16/PO219/PREAPP - 28 September 2016

Follow Up Flag: Follow up
Flag Status: Flagged

Good morning Ndai

Sorry for this late response as I was off yesterday. I will aim to push through the meeting for the end of this week but I cannot fully guarantee that, as I am also off on Thursday and this is the deadline for the comments as well. I would realistically be looking for something during the middle of next week. Please see the screen shot below, I am very sorry for the delay but I cannot really do anything until all the internal consultees have responded with their comments.

I will give update as soon as I receive anything back from them. Many thanks for your patience.

Kind regards,

Ronny Ferley

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- ▷ Trading Standards
- ▷ Anti-Social Behaviour
- ▷ Contaminated Land
- ▷ Licensing

Reception Consideration Pre-App CIL Decision Specials

Reception Checklist Validation Event Consultations Public

Application No. 16/P0219/PREAPP Pre-App ☒ Adc

U.P.R.N. 010070709920

Status REC - Received

Proposal Reinstatement of historical landscape. Maintenance of sports facilities

Standard Consultees Date Of Overall Expiry 28.09.20

Consultee	Letter	Period	Date Consulted
Trees Preservation Office	CONINT - Consult In	D21	07.09.2016
URB14 - 14D Urban D	INC14 - Internal 14 d	D14	07.09.2016
IEHO - LBRUT Environme	CONINT - Consult In	D14	08.09.2016



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Gibbons, Frances

From: Halisch, Ndai
Sent: 12 October 2016 17:18
To: Ronny.Ferley@richmond.gov.uk
Subject: Marble Hill House - 16/PO219/PREAPP
Attachments: Landscape Impact Assessment Addendum 160916.pdf; Thanks for using WeTransfer - file sent to ronny.ferley@richmond.gov.uk; 161012 - Marble Hill House - 16-PO219-PREAPP.pdf

Hello Ronny

Further to our meeting on the 10th of October, I've attached a letter containing procedural queries that you advised could be answered within a fortnight.

Also attached is the Landscape Impact Assessment. You received a hard copy during our meeting on Monday.

You also asked for photos and plans of the old service yard, where we are proposing to create a marquee area. These have been sent to you via we.transfer. The transfer receipt is attached.

Kind regards

Ndai Halisch | Project Manager | Estates

English Heritage, East Gate Court
195-205 High Street, Guildford, GU1 3EH
Mobile: 07584 591 442

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ASSESMENT OF IMPACTS - ADDENDUM

[Written to supplement the already submitted assessment of impacts on heritage assets]

Following further development of plans and feedback from the Greater London Archaeological Advisory Service (GLAAS), this chapter sets out an impact assessment on the development proposed at Marble Hill on the identified heritage assets. It considers the significance of the heritage assets, their sensitivity in respect of the proposed works and the potential impact on this significance and the contribution made by their setting.

1. LANDSCAPE - PLEASURE GROUNDS

1.1 Creation of a marquee site

It is proposed to create an area available for temporary marquee use including installing fixed anchor points. The projected location is within the woodland quarter to the east of the house. This is the site of the former service wing demolished in 1908. This location is proposed because it has no history of designed landscape use, has easy access to existing facilities within the house, and does not significantly detract from key views. The landscape proposals for this area mean that it will be screened from all angles by the existing sweep walls and the restoration of historic tree and shrub planting. All of which would, in the 18th century, have screened the service wing from view.

The installation of a designated marquee site is central to the financial sustainability of the site through the increased potential for private hire. Through the introduction of an additional private hire space, it would also reduce the risk to the interiors in the house (Grade I listed) which are vulnerable to accidental damage and 'wear and tear'.

Further archaeological investigation is planned in this area to increase understanding of the depth, exact location and sensitivity of any surviving archaeology related to the former service wing. This will allow for this to be adequately protected and mitigating any adverse impact when locating fixed anchor points and installing any necessary services.

The temporary and reversible nature of the marquee means that the impact of the structure on the setting of the House will be minimal.

1.2 Removal of Toilet Block

The disused toilet block within the woodland block to the north-west of the house is a small modern utilitarian building which reinforces the unkempt appearance of the woodland. This structure was originally built in 1937 by London County Council as a female toilet, along with a block of dressing rooms and a park shelter. It was superseded by facilities in the House and Stable Block and has fallen out of use. It is now used as a store.

This feature is located within one of the most significant areas of the historic 18th century landscape and therefore has a detrimental impact on the historic design intent of this area. Due to its lack of contemporary use and the proposed vision to restore this area of the landscape as much as possible to its 18th century design and function it is proposed to demolish the toilet block. Its demolition will prevent an unacceptable visual intrusion within

the landscape after the proposed landscape restoration and enhance the setting of Marble Hill House (Grade I listed).

2. LANDSCAPE – WEST MEADOW

2.1 Removal of Chinese-style shelter

A 20th-century Chinese-style shelter is located in the western area of the park. The shelter was built in c1972 by the Greater London Council to provide covered seating on a terrace where previously there had been only benches. The structure is in very poor condition and has been subjected to various acts of vandalism. It's current condition and form detracts from the significance of the landscape and contributes to the impression that this area is purely a municipal park rather than a historically important Grade II* registered parkland. It is proposed to remove the structure and the base on which it sits. The shelter is located on the line of an 18th century tree avenue shown on a survey from c1752 which denoted the outer edge of the garden. At the north end of the avenue the Ice House area was the focal point, giving this feature a prominent location within the design. The removal of the shelter will allow this important design feature to be reinstated.

2.2 Creation of a Children Play Area

This small enclosed area is located in the north east area of the western meadow near the Stable Block. This area is designated as a dog-free area and is popular with families. However, due to the wooden fencing it is highly visible and visually intrusive in the open grassland.

It is proposed to change the boundary treatment of this area to one that is less visible in the open grassland and use this area as an opportunity to provide a play area for the site. This will allow for this area to be more sympathetically integrated into the park setting, reduce its visual impact and improve the historic integrity of the West Meadow while enhancing the setting of the grade II listed Stable Block.

The design of the proposed play area will be interpretive, reflecting themes or design elements from the historic significance of the site. In its scale and massing the design features will be sympathetic to the organic setting of the grassland and not detract from the significance of the nearby buildings and features. It will therefore enhance the evidential and aesthetic values of the site while providing a high quality amenity for families.

3. LANDSCAPE – GREAT LAWN

3.1 Removal of Sport Hut

It is proposed to remove the small sports booking hut located in front of the Stable Block. The hut is in very poor condition and has a negative impact on the setting and context of the Stable Block (Grade II listed). A new booking system will make the building defunct as its current purpose is to enable payment for sports pitches. The removal of the hut will improve the views of the Stable Block and the open character of the Great Lawn.

4. IMPACT ASSESMENT

No elements of value will be lost as result of the landscape restoration works.

The works proposed are justified by compelling evidence of the evolution of the place, and will be executed based on that evidence.

The form in which Marble Hill currently exists is not the result of a historically-significant event and rather of on-going neglect ensuing from the misunderstanding of its significance and lack of investment.

The proposed works will respect all historic forms of the place and give due weight to the historic evolution of the estate. The maintenance implications of the proposed restoration are considered to be sustainable.

5. CONCLUSION

The vision for the restoration of Marble Hill is to enhance its unique character while complimenting neighbouring parks, open spaces and the character of the conservation area. The proposed works will rejuvenate Henrietta Howard's 18th-century gardens and transform the park into a vibrant public space, enabling everyone to experience the pleasure Henrietta and her circle found there. The reintroduction of heritage features will create a diversity of spatial character and habitats within the park which it currently does not provide. We also aim to improve habitats and biodiversity and promote access to nature.

Overall, the proposal will strike a balance between the needs of conservation, biodiversity, access, the interests of the local community, the public benefits of a development and the sustainable economic use. In combination with our new volunteer programme, it will deliver a welcoming and inclusive environment, sustainable well beyond the funded lifecycle of the project.

It is therefore considered that the landscape restoration works carried out as part of the proposal will enhance the heritage significance of all the assets in the park and those elements which are considered to make a positive contribution to the character and appearance of Twickenham Riverside Conservation Area will be preserved and enhanced. The proposal is thus in line with national and local policies set out in the NPPF and Richmond Borough Council Core Strategy and Development Management Plan.

Emily Parker | Landscape Advisor

Agnieszka Sadraei | Senior Properties Curator (London)

English Heritage

16th September 2016

Gibbons, Frances

From: WeTransfer <noreply@wetransfer.com>
Sent: 12 October 2016 17:13
To: Halisch, Ndai
Subject: Thanks for using WeTransfer - file sent to ronny.ferley@richmond.gov.uk



Files successfully sent to ronny.ferley@richmond.gov.uk

Marble Hill House - 16/PO219/PREAPP

As soon as a recipient has downloaded your file, you will
receive a confirmation email.



Recipients

ronny.ferley@richmond.gov.uk

Files (73.3 MB total)

wetransfer-efe647.zip

Will be deleted on

19 October, 2016

Download link

<https://we.tl/5jq1Pc1np>



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ENGLISH
HERITAGE

Ronny Ferley
London Borough of Richmond upon Thames
Civic Centre
44 York Street
Twickenham
TW1 3BZ

12 October 2016

Dear Ronny

Request for Pre-application Meeting & Advice in respect of Planning and Listed Building Consent for The Representation of Marble Hill House and Park Project, Richmond Rd, Twickenham TW1 2NL

I hope the site visit to Marble Hill House on Monday the 10th of October was useful.

Clarification: Our presentation to the London Borough of Richmond upon Thames (LBRUT) took place in May 2016 (not 2012).

You requested plans and photographs of the service wing; these have been forwarded to you via the web-based file transfer system we.transfer.

An electronic version of the Landscape Impact Assessment given to you on site is also attached.

Whilst you are waiting for final consultee to come back you, would you be able to give us some direction on the following matters:

- a) Whether LBRUT would be prepared to consider the works to the Stable Block in separate Planning and Listed Building Consent applications.
 - We are considering submitting separate applications; one for the Stable Block, one for the Landscape works and one for the works to the House.
- b) In view of item a) above, whether any standalone element (i.e. the stable block works and secondly the landscape works) is viewed as a major or minor development.
- c) Whether in view of the small size of the extension to the listed Stable Block, and its context within the park, LBRUT agree that BREEAM is an inappropriate standard for this development. In its place, a Sustainability Statement and an Energy Report would accompany the application for the Stable Block.

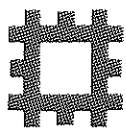


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ENGLISH
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- d) Whether LBRUT consider that the Stable Block development is a Noise Generating Development
- e) Confirmation that LBRUT are content with the proposed Validation checklist previously issued, or confirmation of LBRUT's of any other information that will be required.

Yours faithfully

Ndai Halisch
National Projects Manager
For English Heritage

Email: Ndai.Halisch@english-heritage.org.uk

Mobile: 07584 591 422

Enclosures:

- Service wing plans and photographs (via we.transer).
- Landscape Impact Assessment

Eastgate Court, 195-205 High Street, Guildford GU1 3EH

☎ 01483 252000 ☎ english-heritage.org.uk

LBRUT Sustainable Construction Checklist - January 2016

This document forms part of the Sustainable Construction Checklist SPD. This document must be filled out as part of the planning application for the following developments: all residential development providing one or more new residential units (including conversions leading to one or more new units), and all other forms of development providing 100sqm or more of non-residential floor space. Developments including new non-residential development of less than 100sqm floor space, extensions less than 100sqm, and other conversions are strongly encouraged to comply with this checklist. Where further information is requested, please either fill in the relevant section, or refer to the document where this information may be found in detail, e.g. Flood Risk Assessment or similar. Further guidance on completing the Checklist may be found in the Justification and Guidance section of this SPD.

Property Name (if relevant): Application No. (if known):

Address (include postcode):
Completed by:

For Non-Residential
Size of development (m2)

For Residential
Number of dwellings

1 MINIMUM COMPLIANCE (RESIDENTIAL AND NON-RESIDENTIAL)

Energy Assessment
Has an energy assessment been submitted that demonstrates the expected energy and carbon dioxide emissions saving from energy efficiency and renewable energy measures, including the feasibility of CHP/CCHP and community heating systems? If yes, please tick. ☐

Carbon Dioxide emissions reduction

What is the carbon dioxide emissions reduction against a Building Regulations Part L (2013) baseline

Policy DM SD 1 and London Plan Policy 5.2 (2015) require a 35% reduction in CO₂ emissions beyond Building Regulations 2013.

Percentage of total site CO₂ emissions saved through renewable energy installation?

1A MINIMUM POLICY COMPLIANCE (NON-RESIDENTIAL AND DOMESTIC REFURBISHMENT)

Please check the Guidance Section of this SPD for the policy requirements

Environmental Rating of development:

Non-Residential new-build (100sqm or more)

BREEAM Level

Please Select

Have you attached a pre-assessment to support this? ☐

Extensions and conversions for residential dwellings

BREEAM Domestic Refurbishment

Please Select

Have you attached a pre-assessment to support this? ☐

Extensions and conversions for non-residential buildings

BREEAM Level

Please Select

Have you attached a pre-assessment to support this? ☐

Score awarded for Environmental Rating:

BREEAM: Good = 0, Very Good = 4, Excellent = 8, Outstanding = 16

Subtotal 0

1B MINIMUM POLICY COMPLIANCE (RESIDENTIAL)

Water Usage

Internal water usage limited to 105 litres person per day. (Excluding an allowance 5 litres per person per day for external water consumption). Calculations using the water efficiency calculator for new dwellings have been submitted. ☐

Subtotal 0

2. ENERGY USE AND POLLUTION

2.1 Need for Cooling

Score

- a. How does the development incorporate cooling measures? Tick all that apply:
- Energy efficient design incorporating specific heat demand to less than or equal to 15 kWh/sqm ☐ 6
 - Reduce heat entering a building through providing/improving insulation and living roofs and walls ☐ 2
 - Reduce heat entering a building through shading ☐ 3
 - Exposed thermal mass and high ceilings ☐ 4
 - Passive ventilation ☐ 3
 - Mechanical ventilation with heat recovery ☐ 1
 - Active cooling systems, i.e. Air Conditioning Unit ☐ 0

2.2 Heat Generation

- b. How have the heating and cooling systems, with preference to the heating system hierarchy, been selected (defined in London Plan policy 5.6)? Tick all heating and cooling systems that will be used in the development:
- Connection to existing heating or cooling networks powered by renewable energy ☐ 6
 - Connection to existing heating or cooling networks powered by gas or electricity ☐ 5
 - Site wide CHP network powered by renewable energy ☐ 4
 - Site wide CHP network powered by gas ☐ 3
 - Communal heating and cooling powered by renewable energy ☐ 2
 - Communal heating and cooling powered by gas or electricity ☐ 1
 - Individual heating and cooling ☐ 0

2.3 Pollution: Air, Noise and Light

- a. Does the development plan to implement reduction strategies for dust emissions from construction sites? ☐ 2
- b. Does the development plan include a biomass boiler? ☐ .
- If yes, please refer to the biomass guidelines for the Borough of Richmond, please see guidance for supplementary information. If the proposed boiler is of a qualifying size, you may need to completed the information request form found on the Richmond website. ☐ .
- c. Please tick only one option below
- Has the development taken measures to reduce existing noise and enhance the existing soundscape of the site? ☐ 3
 - Has the development taken care to not create any new noise generation/transmission issues in its intended operation? ☐ 1
- d. Has the development taken measures to reduce light pollution impacts on character, residential amenity and biodiversity? ☐ 3
- e. Have you attached a Lighting Pollution Report? ☐ .

Subtotal

Please give any additional relevant comments to the Energy Use and Pollution Section below

3. TRANSPORT

3.1 Provision for the safe efficient and sustainable movement of people and goods

- a. Does your development provide opportunities for occupants to use innovative travel technologies?

Please explain:

- b. Does your development include charging point(s) for electric cars? ☐ 2
- c. **For major developments ONLY:** Has a Transport Assessment been produced for your development based on TfL's Best Practice Guidance? ☐ 5
- If you have provided a Transport Assessment as part of your planning application, please tick here and move to Section 3 of this Checklist.
- d. **For smaller developments ONLY:** Have you provided a Transport Statement? ☐ 5
- e. Does your development provide cycle storage? (Standard space requirements are set out in the the Council's Parking Standards - DM DPD Appendix 4) ☐ 2
- If so, for how many bicycles?
- Is this shown on the site plans? ☐ .
- f. Will the development create or improve links with local and wider transport networks? If yes, please provide details. ☐ 2

Subtotal

Please give any additional relevant comments to the Transport Section below

4 BIODIVERSITY

4.1 Minimising the threat to biodiversity from new buildings, lighting, hard surfacing and people

- a. Does your development involve the loss of an ecological feature or habitat, including a loss of garden or other green space? (Indicate if yes)
If so, please state how much in sqm? ☐ 2 sqm
- b. Does your development involve the removal of any tree(s)? (Indicate if yes)
If so, has a tree report been provided in support of your application? (Indicate if yes) ☐
☐
- c. Does your development plan to add (and not remove) any tree(s) on site? (Indicate if yes) ☐
- d. Please indicate which features and/or habitats that your development will incorporate to improve on site biodiversity:
- | | | | | | |
|---|-----|--------------------------|----------------|----------------------|-----|
| Pond, reedbed or extensive native planting | 6 | <input type="checkbox"/> | Area provided: | <input type="text"/> | sqm |
| An extensive green roof | 5 | <input type="checkbox"/> | Area provided: | <input type="text"/> | sqm |
| An intensive green roof | 4 | <input type="checkbox"/> | Area provided: | <input type="text"/> | sqm |
| Garden space | 4 | <input type="checkbox"/> | Area provided: | <input type="text"/> | sqm |
| Additional native and/or wildlife friendly planting to peripheral areas | 3 | <input type="checkbox"/> | Area provided: | <input type="text"/> | sqm |
| Additional planting to peripheral areas | 2 | <input type="checkbox"/> | Area provided: | <input type="text"/> | sqm |
| A living wall | 2 | <input type="checkbox"/> | Area provided: | <input type="text"/> | sqm |
| Bat boxes | 0.5 | <input type="checkbox"/> | | | |
| Bird boxes | 0.5 | <input type="checkbox"/> | | | |
| Other | 0.5 | <input type="checkbox"/> | | | |

Subtotal 0

Please give any additional relevant comments to the Biodiversity Section below

5 FLOODING AND DRAINAGE

5.1 Mitigating the risks of flooding and other impacts of climate change in the borough

- a. Is your site located in a high flood risk zone (Zone 3)? (Indicate if yes) ☐ 2
Have you submitted a Flood Risk Assessment? (Indicate if yes) ☐
- b. Which of the following measures of the drainage hierarchy are incorporated onto your site? (tick all that apply)
- | | |
|---|----------------------------|
| Store rainwater for later use | <input type="checkbox"/> 5 |
| Use of infiltration techniques such as porous surfacing materials to allow drainage on-site | <input type="checkbox"/> 3 |
| Attenuate rainwater in ponds or open water features | <input type="checkbox"/> 4 |
| Store rainwater in tanks for gradual release to a watercourse | <input type="checkbox"/> 3 |
| Discharge rainwater directly to watercourse | <input type="checkbox"/> 2 |
| Discharge rainwater to surface water drain | <input type="checkbox"/> 1 |
| Discharge rainwater to combined sewer | <input type="checkbox"/> 0 |
- c. Please give the change in area of permeable surfacing which will result from your development proposal:
Please provide details of the permeable surfacing below sqm
please represent a loss in permeable area as a negative number

Subtotal 0

Please give any additional relevant comments to the Flooding and Drainage Section below

6 IMPROVING RESOURCE EFFICIENCY

6.1 Reduce waste generated and amount disposed of by landfill though increasing level of re-use and recycling

- a. Will demolition be required on your site prior to construction? (Points will only be awarded if 10% or greater of demolition waste is reused/recycled) ☐ 1
If so, what percentage of demolition waste will be reused in the new development? %
What percentage of demolition waste will be recycled? %
- b. Does your site have any contaminated land?
- | | |
|---|----------------------------|
| Have you submitted an assessment of the site contamination? | <input type="checkbox"/> 1 |
| Are plans in place to remediate the contamination? | <input type="checkbox"/> 2 |
| Have you submitted a remediation plan? | <input type="checkbox"/> 1 |
| Are plans in place to include composting on site? | <input type="checkbox"/> 1 |

6.2 Reducing levels of water waste

- a. Will the following measures of water conservation be incorporated into the development? (Please tick all that apply):
- | | |
|---|----------------------------|
| Fitting of water efficient taps, shower heads etc | <input type="checkbox"/> 1 |
| Use of water efficient A or B rated appliances | <input type="checkbox"/> 1 |
| Rainwater harvesting for internal use | <input type="checkbox"/> 4 |
| Greywater systems | <input type="checkbox"/> 4 |
| Fit a water meter | <input type="checkbox"/> 1 |

Subtotal 0

Please give any additional relevant comments to the Improving Resource Efficiency Section below

7 ACCESSIBILITY

7.1 Ensure flexible adaptable and long-term use of structures

a. If the development is residential, will it meet the requirements of the nationally described space standard for internal space and layout?

☐ 1

If the standards are not met, in the space below, please provide details of the functionality of the internal space and layout

AND

b. If the development is residential, will it meet Building Regulation Requirement M4 (2) 'accessible and adaptable dwellings'?

☐ 2

If this is not met, in the space below, please provide details of any accessibility measures included in the development

For major residential developments, are 10% or more of the units in the development to Building Regulation Requirement M4 (3) 'wheelchair user dwellings'?

☐ 1

OR

c. If the development is non-residential, does it comply with requirements included in Richmond's Design for Maximum Access SPG

☐ 2

Please provide details of the accessibility measures specified in the Maximum Access SPG that will be included in the development

Subtotal

Please give any additional relevant comments to the Design Standards and Accessibility Section below

LBRUT Sustainable Construction Checklist- Scoring Matrix for New Construction

(Non-Residential and domestic refurb)

TOTAL

Score	Rating	Significance
80 or more	A+	Project strives to achieve highest standard in energy efficient sustainable development
71-79	A	Makes a major contribution towards achieving sustainable development in Richmond
51-70	B	Helps to significantly improve the Borough's stock of sustainable developments
36-50	C	Minimal effort to increase sustainability beyond general compliance
35 or less	FAIL	Does not comply with SPD Policy

LBRUT Sustainable Construction Checklist- Scoring Matrix for New Construction

Residential new-build

Score	Rating	Significance
81 or more	A++	Project strives to achieve highest standard in energy efficient sustainable development
64-80	A+	Project strives to achieve highest standard in energy efficient sustainable development
55-63	A	Makes a major contribution towards achieving sustainable development in Richmond
35-54	B	Helps to significantly improve the Borough's stock of sustainable developments
20-34	C	Minimal effort to increase sustainability beyond general compliance
19 or less	FAIL	Does not comply with SPD Policy

Authorisation:

I herewith declare that I have filled in this form to the best of my knowledge

Signature

Date

4

Gibbons, Frances

From: Ronny Ferley <Ronny.Ferley@richmond.gov.uk>
Sent: 24 October 2016 14:36
To: Halisch, Ndai
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Follow Up Flag: Follow up
Flag Status: Flagged

Thanks for confirming this Ndai, will let others know.

Kind regards

Ronny

From: Halisch, Ndai [mailto:Ndai.Halisch@english-heritage.org.uk]
Sent: 24 October 2016 14:25
To: Ronny Ferley
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Hi Ronny

The drawings that Josh had on site are indeed the same as the ones contained within the feasibility document.

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Ronny Ferley [mailto:Ronny.Ferley@richmond.gov.uk]
Sent: 24 October 2016 14:05
To: Halisch, Ndai
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Hello Ndai

Thanks for your prompt response. Yes I saw these but thought those with Josh were additional as he said he would send them to us, if they are the same please disregard that request and I will pass this info on to Mortimer and Mark.

Many thanks.

Kind regards

Ronny Ferley

From: Halisch, Ndai [mailto:Ndai.Halisch@english-heritage.org.uk]
Sent: 24 October 2016 13:58
To: Ronny Ferley

Cc: Sydney, Alex
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Hello Ronny

With ref to your second paragraph in the email below: the plans, sections and elevations you need are found in Appendix 11 of the Feasibility document (Section 11.2, pages 126-131) which we sent to you in August.

Appendices 1 – 8, and 11 – 15 were contained on the CD that accompanied our cover letter and our completed pre-application form.

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Ronny Ferley [<mailto:Ronny.Ferley@richmond.gov.uk>]
Sent: 24 October 2016 08:43
To: Halisch, Ndai
Cc: Sydney, Alex
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Good morning Ndai

Thank you sending the wire transfer again, I have been able to open it this time and will forward the content on to Mortimer who is back today (he currently only works Monday/Tuesday). I am yet to get any conservation feedback from him and the transport officer whom I consulted has been away is also back today. I will be arranging a meeting with her and the Urban Design team today to try and come up with some of the answers we said we would within the two weeks.

We requested some additional plans showing elevations, sections and floor plans of the proposal for the stable block from Josh which he had at the site visit, these were not part of the transfer. Do you know if it is possible to get them sent across, please?

Many thanks.

Kind regards

Ronny Ferley

From: Halisch, Ndai [<mailto:Ndai.Halisch@english-heritage.org.uk>]
Sent: 20 October 2016 13:28
To: Ronny Ferley
Cc: Sydney, Alex
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Hello Ronny

I have resent the service wing information to you. The download window expires on the 27th of October. If there are any issues/concerns please let me know right away.

We are looking forward to receiving the preliminary responses next week.

Alex, for your information.

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Ronny Ferley [<mailto:Ronny.Ferley@richmond.gov.uk>]

Sent: 20 October 2016 11:30

To: Halisch, Ndai

Subject: FW: Marble Hill House - 16/PO219/PREAPP

Good morning Halisch

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Thank you.

Kind regards

Ronny Ferley

Planning Officer – South Area Team

Serving Richmond and Wandsworth Councils

Telephone: 0208 891 1411 **Email:** ronny.ferley@richmond.gov.uk

Websites: www.richmond.gov.uk/planning / www.wandsworth.gov.uk/planning

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From: Halisch, Ndai [<mailto:Ndai.Halisch@english-heritage.org.uk>]

Sent: 18 October 2016 14:32

To: Ronny Ferley

Subject: RE: Marble Hill House - 16/PO219/PREAPP

Good afternoon Ronny

I wanted to let you know that the download window for we.transfer is limited and it expires tomorrow. We.transfer is the system I used to send over the service yard plans and images.

Thank you

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Ronny Ferley [<mailto:Ronny.Ferley@richmond.gov.uk>]

Sent: 13 October 2016 15:29

To: Halisch, Ndai

Subject: RE: Marble Hill House - 16/PO219/PREAPP

Dear Ndai

Many thanks for the documents, I will try my best to get the answers to you in a fortnight by engaging with other internal consultees. Please find the feedback from the ecology officer below (please note that she will require them for a formal application only).

I will be in touch in due course if there are any other concerns raised in between.

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- A landscape plan showing plans, specs, species, and maintenance plan.
- An ecological enhancement plan including specs, aspects, heights, locations.

From: Halisch, Ndai [<mailto:Ndai.Halisch@english-heritage.org.uk>]

Sent: 12 October 2016 17:18

To: Ronny Ferley

Subject: Marble Hill House - 16/PO219/PREAPP

Hello Ronny

Further to our meeting on the 10th of October, I've attached a letter containing procedural queries that you advised could be answered within a fortnight.

Also attached is the Landscape Impact Assessment. You received a hard copy during our meeting on Monday.

You also asked for photos and plans of the old service yard, where we are proposing to create a marquee area. These have been sent to you via we.transfer. The transfer receipt is attached.

Kind regards

Ndai Halisch | Project Manager | Estates

English Heritage, East Gate Court
195-205 High Street, Guildford, GU1 3EH
Mobile: 07584 591 442

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Gibbons, Frances

From: Halisch, Ndai
Sent: 28 October 2016 14:11
To: Ronny Ferley
Subject: RE: Marble Hill House - 16/PO219/PREAPP
Attachments: 161026 - Marble Hill House - 16-PO219-PREAPP.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Ronny

Please could we have your responses to the queries in the attached letter.

Thank you

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Ronny Ferley [mailto:Ronny.Ferley@richmond.gov.uk]
Sent: 24 October 2016 14:36
To: Halisch, Ndai
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Thanks for confirming this Ndai, will let others know.

Kind regards

Ronny

From: Halisch, Ndai [mailto:Ndai.Halisch@english-heritage.org.uk]
Sent: 24 October 2016 14:25
To: Ronny Ferley
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Hi Ronny

The drawings that Josh had on site are indeed the same as the ones contained within the feasibility document.

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Ronny Ferley [<mailto:Ronny.Ferley@richmond.gov.uk>]
Sent: 24 October 2016 14:05
To: Halisch, Ndai
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Hello Ndai

Thanks for your prompt response. Yes I saw these but thought those with Josh were additional as he said he would send them to us, if they are the same please disregard that request and I will pass this info on to Mortimer and Mark.

Many thanks.

Kind regards

Ronny Ferley

From: Halisch, Ndai [<mailto:Ndai.Halisch@english-heritage.org.uk>]
Sent: 24 October 2016 13:58
To: Ronny Ferley
Cc: Sydney, Alex
Subject: RE: Marble Hill House - 16/PO219/PREAPP

Hello Ronny

With ref to your second paragraph in the email below: the plans, sections and elevations you need are found in Appendix 11 of the Feasibility document (Section 11.2, pages 126-131) which we sent to you in August.

Appendices 1 – 8, and 11 – 15 were contained on the CD that accompanied our cover letter and our completed pre-application form.

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Ronny Ferley [<mailto:Ronny.Ferley@richmond.gov.uk>]
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Serving Richmond and Wandsworth Councils
Telephone: 0208 891 1411 **Email:** ronny.ferley@richmond.gov.uk
Websites: www.richmond.gov.uk/planning / www.wandsworth.gov.uk/planning

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Kind regards

Ndai Halisch | Project Manager | Estates

English Heritage, East Gate Court
195-205 High Street, Guildford, GU1 3EH
Mobile: 07584 591 442

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4

Gibbons, Frances

From: Ronny Ferley <Ronny.Ferley@richmond.gov.uk>
Sent: 01 November 2016 13:45
To: Josh McCosh
Cc: Halisch, Ndai
Subject: RE: Marble Hill House - 16/P0219/PREAPP

Follow Up Flag: Follow up
Flag Status: Flagged

Good afternoon Josh

Thank you for your prompt response. Please find further comments below.

Kind regards

Ronny Ferley
Planning Officer – South Area Team
Serving Richmond and Wandsworth Councils
Telephone: 0208 891 1411 Email: ronny.ferley@richmond.gov.uk
Websites: www.richmond.gov.uk/planning / www.wandsworth.gov.uk/planning

The views expressed in this email are informal only and do not prejudice any decision the Council may make on any future planning application which may be submitted in respect of the above address.

From: Josh McCosh [<mailto:Josh@vhh.co.uk>]
Sent: 01 November 2016 13:01
To: Ronny Ferley
Cc: Halisch, Ndai; vHH Marble Hill
Subject: Re: Marble Hill House - 16/P0219/PREAPP

Hi Ronny

Thank you for these points. All generally clear, thank you, but I have three comments, to which we'd appreciate your response as soon as possible:

1. Are you sure about your first point? We are proposing some external seating areas and the kitchen will have a normal extract system (cooker hood) both of which might be perceived as noise generating, and I imagine the Montpellier Row residents would consider themselves each 'a sensitive receptor'. Please could you confirm that the authority does NOT require an acoustic assessment and background noise survey.
2. In term of potential materials and details for any extension of the listed wall(s) could you clarify exactly what you would require with the application.

3. Can you please respond to the procedural questions asked at the meeting - in terms of the format of applications for the Stable block in relation to the park as a whole, BREEAM and which supporting documents required to register etc. This is vital to allow commissioning of the right materials for the application. *This is dependent on the input of additional consultees who have not yet send their response. Will chase them up again and hopefully have answer by the end of the week.*

We look forward to hearing from you shortly.

Yours

Josh

James McCosh. Partner, van Heyningen and Haward, e-mail sent from my mobile.

van Heyningen and Haward Architects

1A Harmood St, London, NW1 8DN

Our telephone number is:

t 020 3362 4488

On 1 Nov 2016, at 09:58, Ronny Ferley <Ronny.Ferley@richmond.gov.uk> wrote:

Good morning Ndai & Josh

My apologies for the delay. Please find the answers to your questions below, I would not go into much details so as not to contradict with the previous comments made and also not to prejudice further comments to be made by the other consultees.

The requirement for an acoustic survey, and, the scope for such a survey if it is needed:

A northward extension of the party wall to provide a secure boundary and privacy to the proposed service yard area:

4

Gibbons, Frances

From: Ronny Ferley <Ronny.Ferley@richmond.gov.uk>
Sent: 23 November 2016 16:09
To: Josh McCosh
Cc: Halisch, Ndai
Subject: RE: Marble Hill House - 16/P0219/PREAPP

Follow Up Flag: Follow up
Flag Status: Flagged

FYI

Regards

Ronny Ferley

From: Mary Toffi
Sent: 23 November 2016 16:04
To: Ronny Ferley
Subject: RE: Marble Hill House - 16/P0219/PREAPP

Ronny

TfL have a Transport Assessment document that they will need to adhere to. A transport consultant would put together a scope for the surveys and the TA that we would agree with them

Regards Mary

Mary Toffi
Principal Transport Planner
London Borough of Richmond upon Thames
TEL: 020 8891 7379
FAX: 020 8891 7713
mary.toffi@richmond.gov.uk
www.richmond.gov.uk

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We welcome both positive and negative customer feedback on the services we provide. If you wish to provide feedback please do so using our online feedback form. Thank you

Please note that I am in the office on Monday, Tuesday and Wednesday and will generally only be available for meetings on those days.

From: Ronny Ferley
Sent: 14 November 2016 17:20
To: Mary Toffi
Subject: RE: Marble Hill House - 16/P0219/PREAPP

FYI

From: Josh McCosh [<mailto:Josh@vhh.co.uk>]
Sent: 07 November 2016 17:21

To: Ronny Ferley
Cc: Halisch, Ndai; vHH Marble Hill
Subject: RE: Marble Hill House - 16/P0219/PREAPP

Thanks Ronny,

This all seems clear.

Is there an approved methodology that Richmond would wish to see used for the Travel Survey and Transport assessment?

Yours

Josh

James McCosh
Partner

vHH / van Heyningen
& Haward Architects

van Heyningen and Haward Architects
1A Harmood St
London
NW1 8DN

m. 07810 698215
d: 020 7424 3674
t 020 3362 4488
www.vhh.co.uk

From: Ronny Ferley [<mailto:Ronny.Ferley@richmond.gov.uk>]
Sent: 07 November 2016 17:09
To: Halisch, Ndai
Cc: Josh McCosh
Subject: FW: Marble Hill House - 16/P0219/PREAPP

FYI – Transport Comments.

Regards

Ronny Ferley

From: Mary Toffi
Sent: 07 November 2016 15:44
To: Ronny Ferley
Subject: RE: Marble Hill House - 16/P0219/PREAPP

Ronny

Comments on this application:

They must submit a Travel Survey showing how much parking is used during busy times and how much remains for use if the site uses are expanded. What car parking would be required for the expanded usage of the house and park?

Travel surveys of staff and visitors required as current at busiest times for the site. Projection to proposed usage. What are the times of the restaurant proposed to be?

They state that they want the restaurant to be a destination in itself therefore they must look at the worst case scenario in terms of the restaurant being used as a destination and what that would generate in terms of car trips. Expanded usage of the site in general for larger events must also be included in the Travel Survey. The Soho House event in the summer generates lots of complaints in terms of their management of vehicles and the effect on Richmond Rd and residents.

Construction Method Statement in draft required.

Regards Mary

Mary Toffi

Principal Transport Planner

London Borough of Richmond upon Thames

TEL: 020 8891 7379

FAX: 020 8891 7713

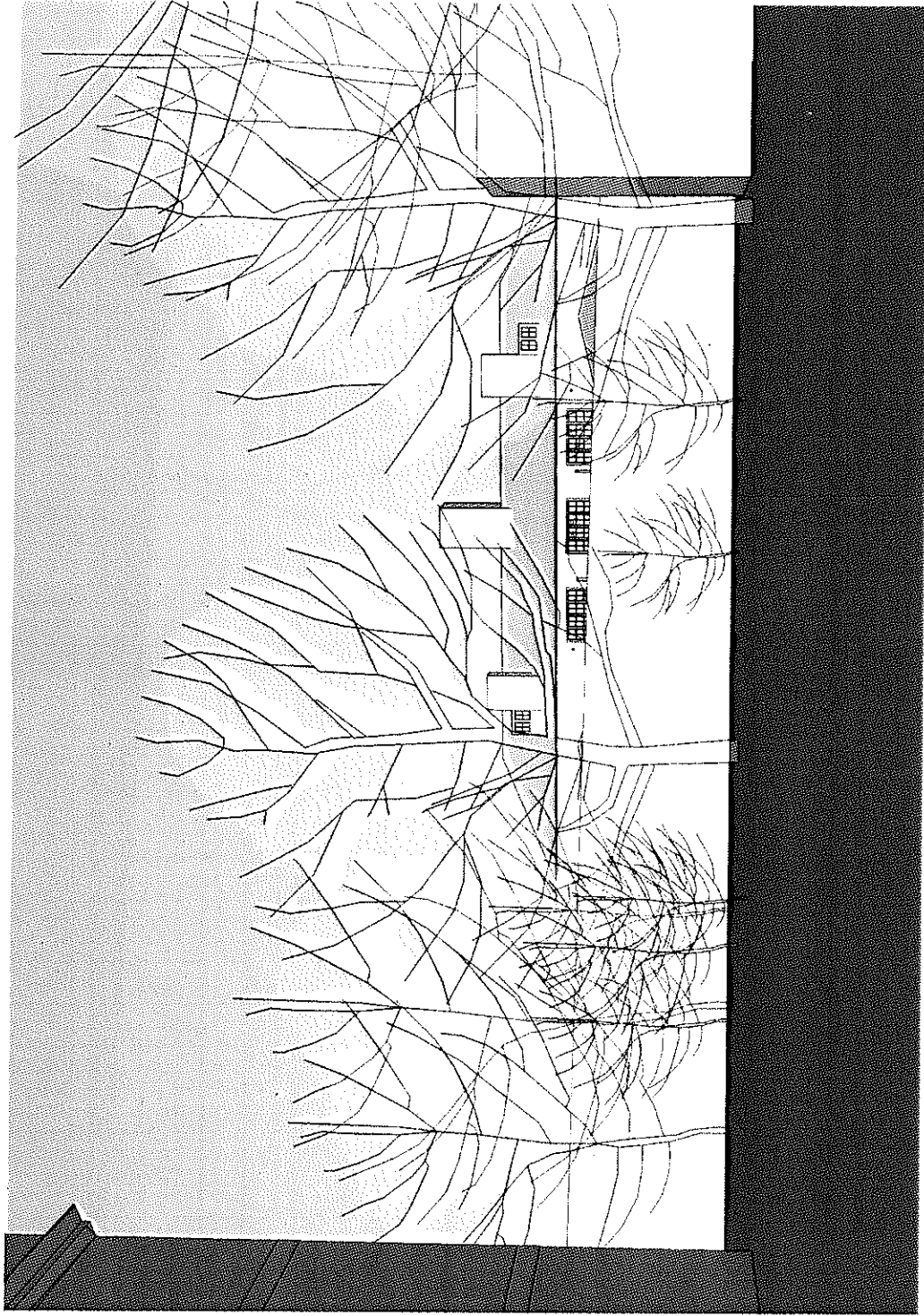
mary.toffi@richmond.gov.uk

www.richmond.gov.uk

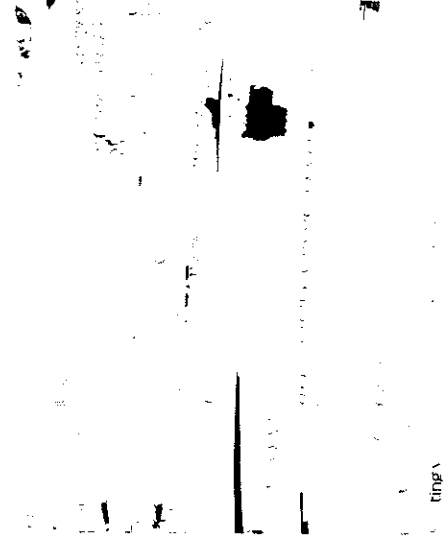
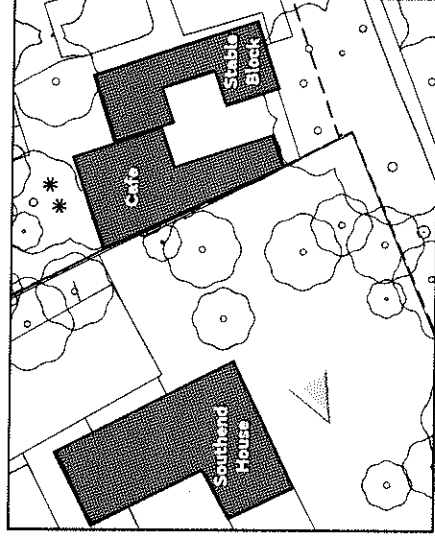
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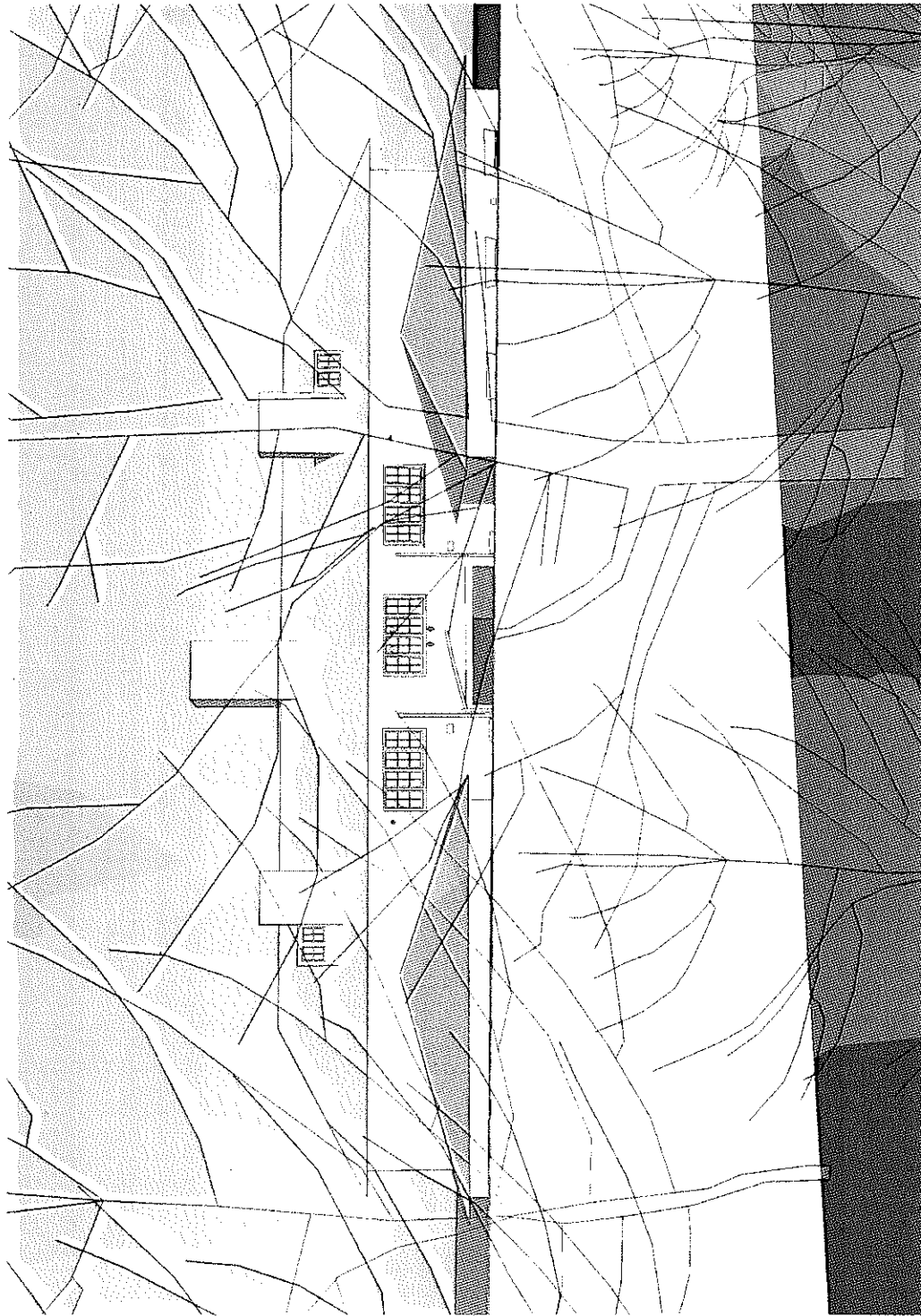
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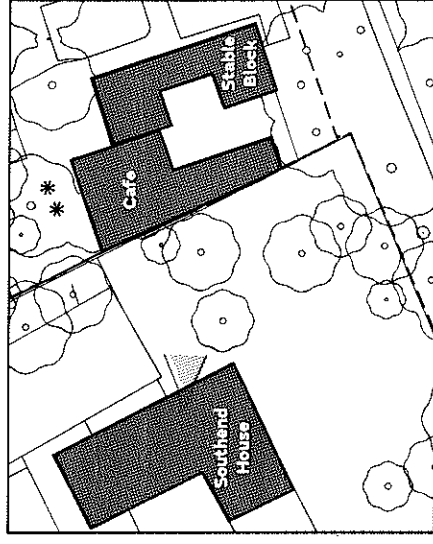
Southend House - South garden view
View from Southend House looking east at eye-height (1600mm)

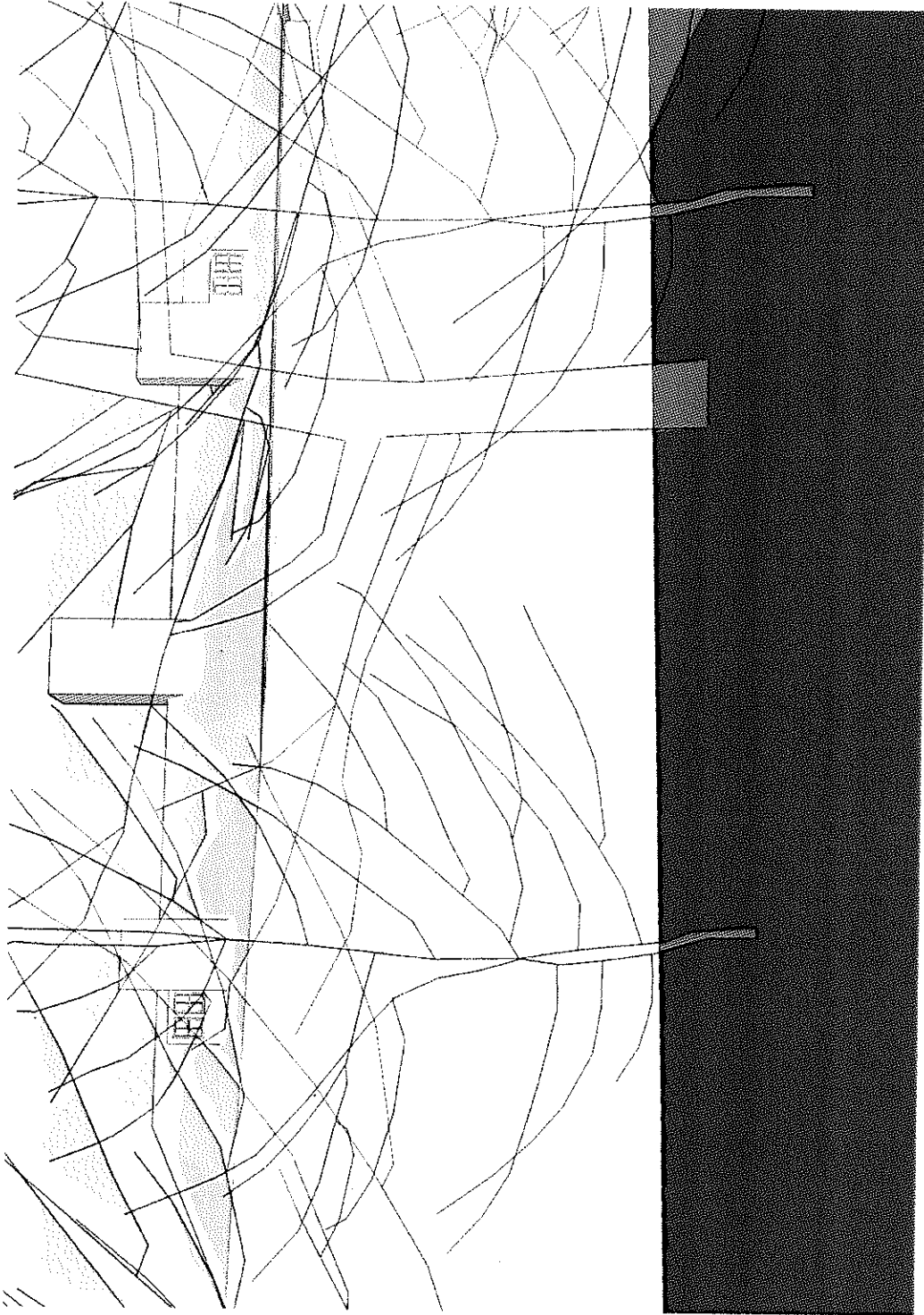




Southend House Level 1

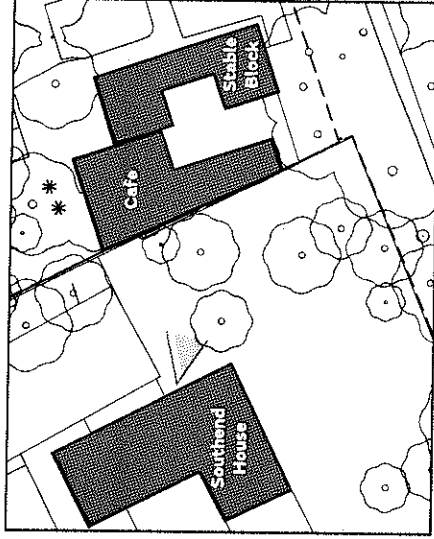
View from first floor of Southend House approx 5600mm above ground level





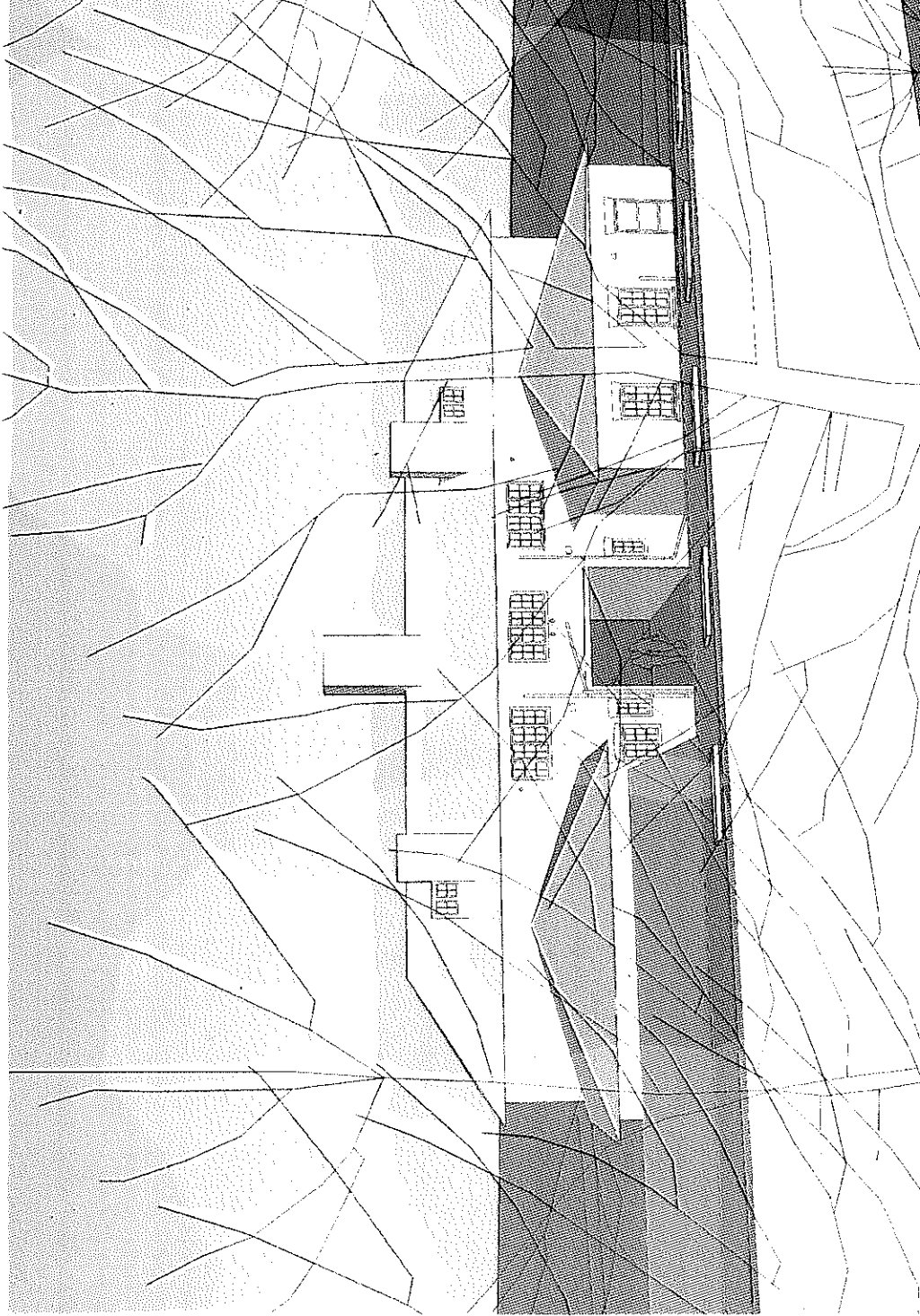
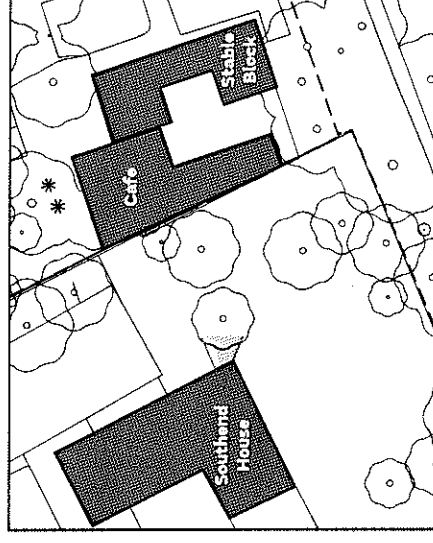
Southend House Ground Level

View from ground level of Southend House looking east at eye-height (1600mm)



Southend House Level 2

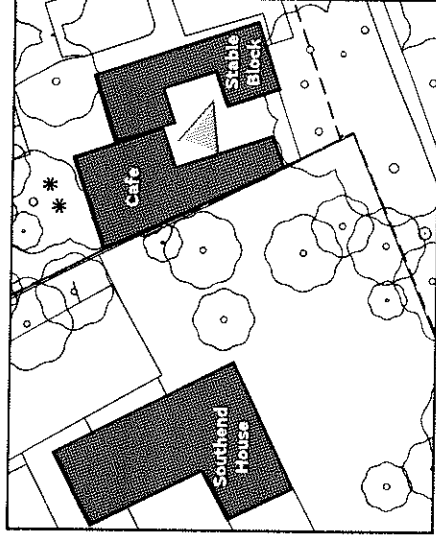
View from first floor of Southend House approx. 9295mm above ground level



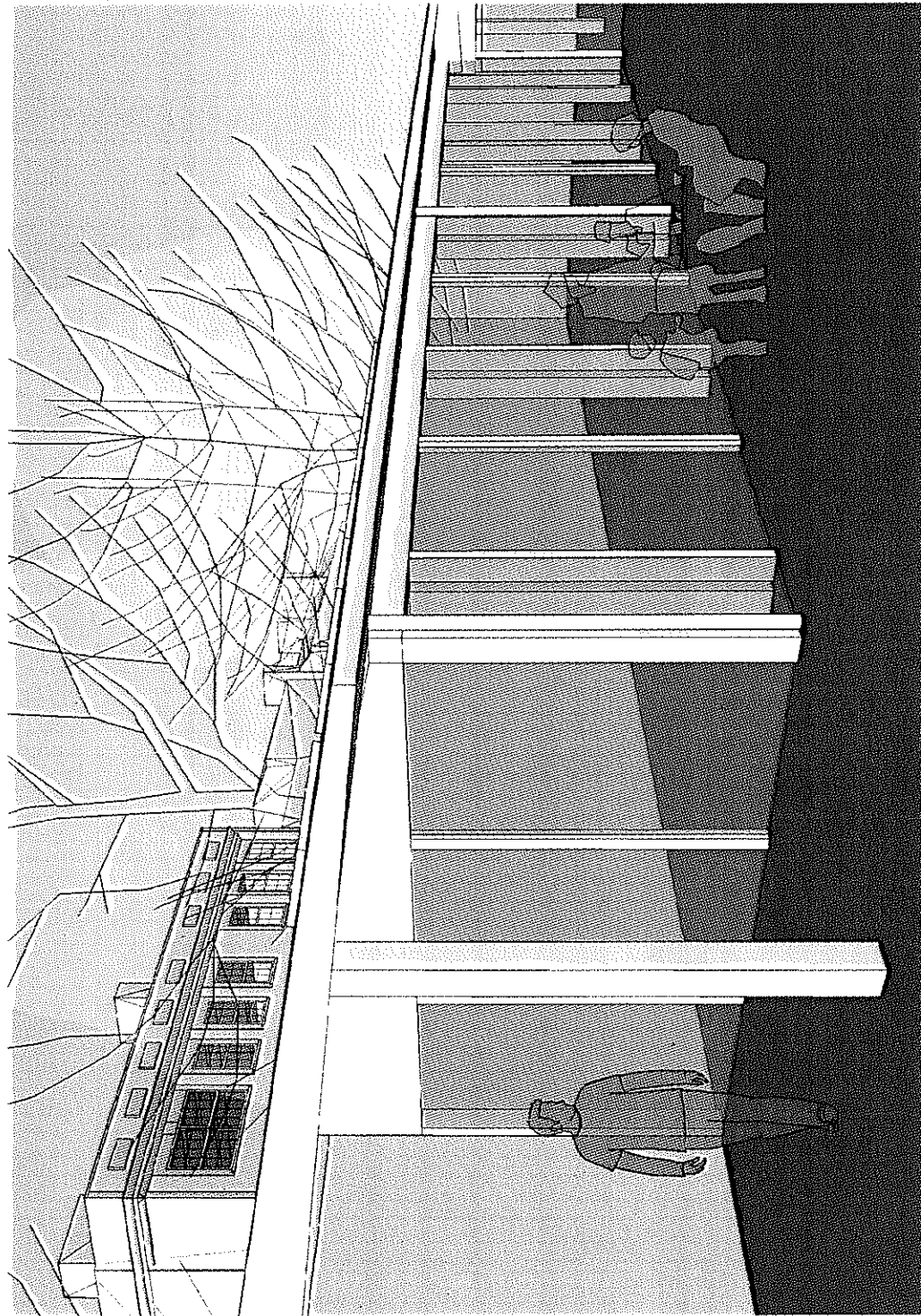


Cafe Courtyard View 2

View from courtyard at eye-height (1600mm)

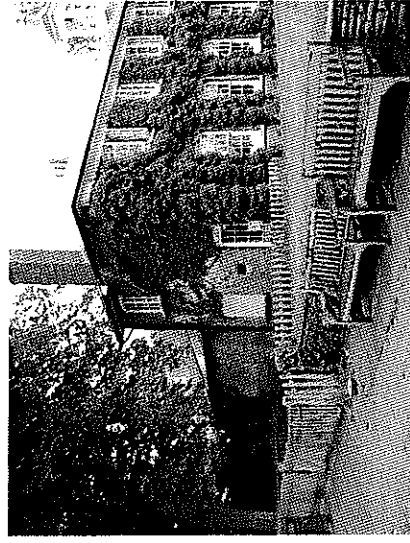


Existing view from stable block courtyard of site looking west

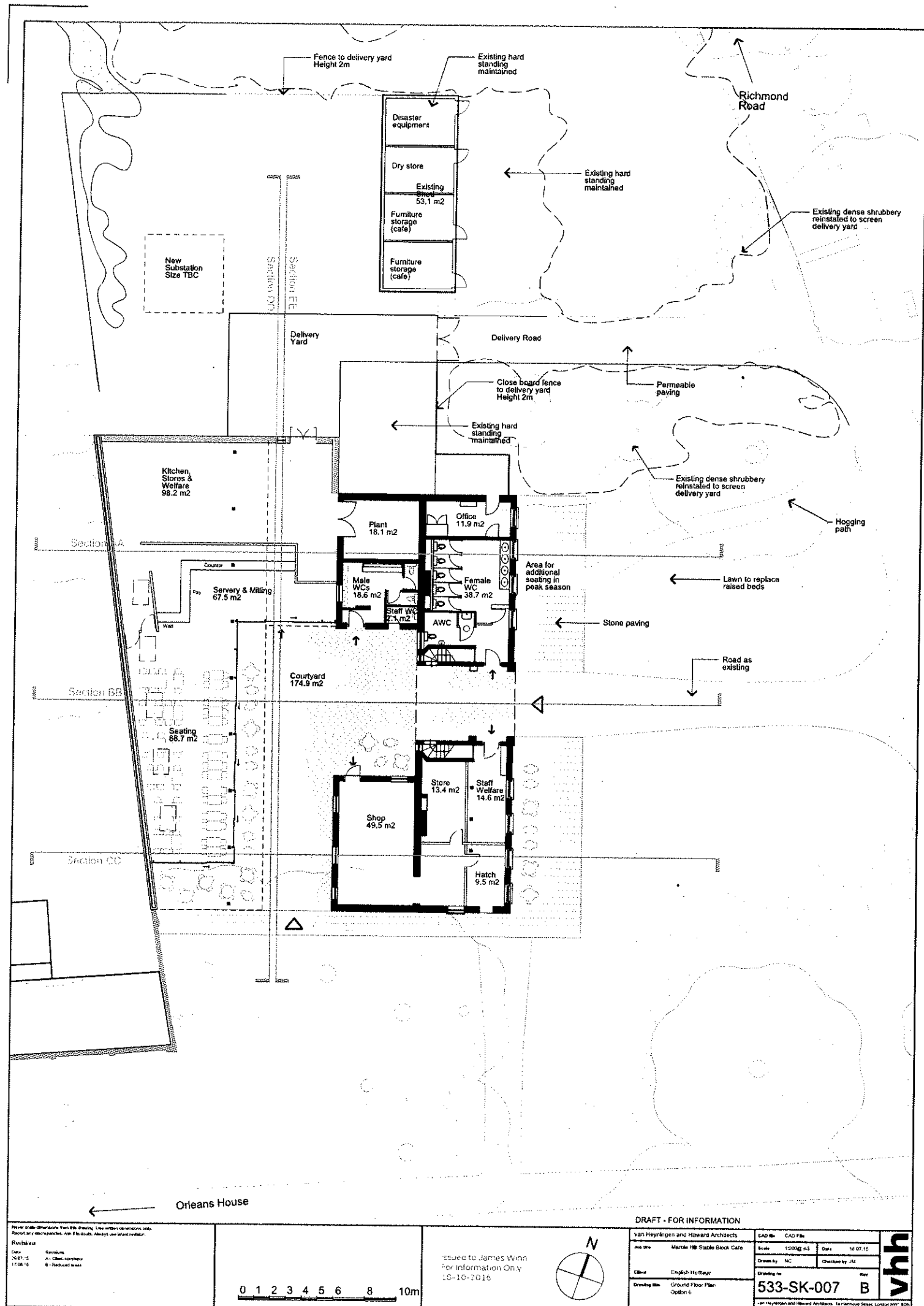


Cafe Courtyard View 1

View from south-east corner of courtyard at eye-height (1600mm)



Existing view from south east corner of site looking north west



Revisions
Date: 16.07.15
17.08.15
Remarks:
A - Client comment
B - Reduced level

Issued to James Winn
For Information Only
18-10-2016

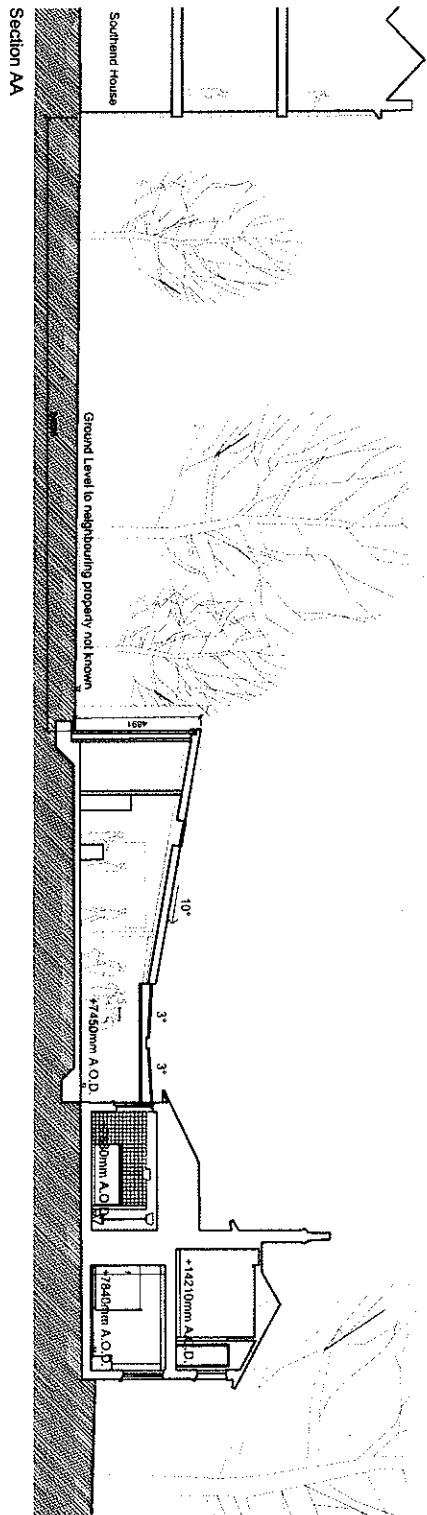
DRAFT - FOR INFORMATION

Van Heyningen and Howard Architects
Job site: Market Hill Stable Block Cafe
Client: English Heritage
Drawing title: Ground Floor Plan Option 6

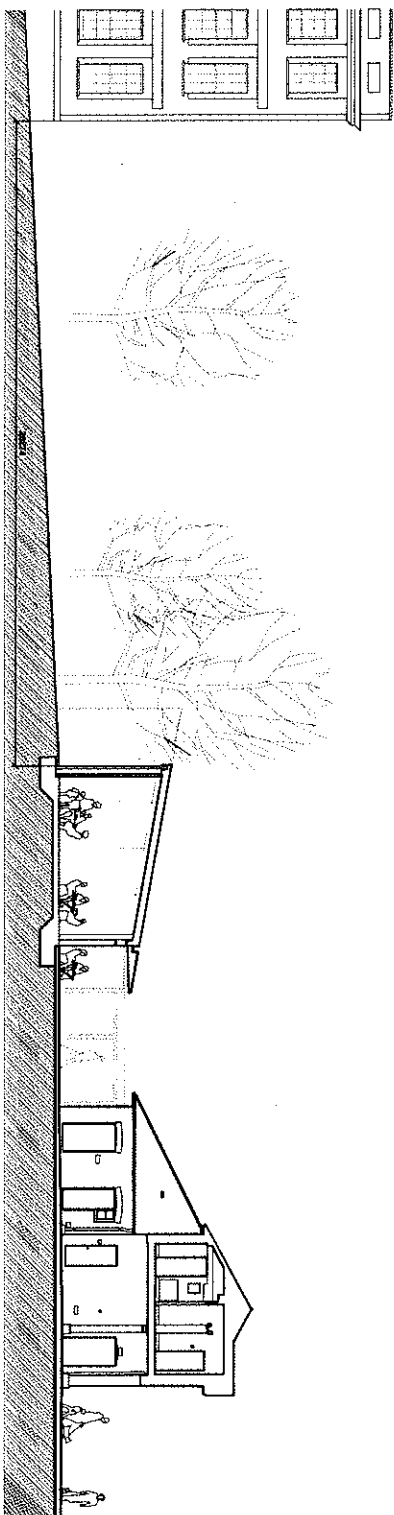
Scale: 1:200 (A3)	Date: 16.07.15
Drawn by: NC	Checked by: AJL
Drawing no: 533-SK-007	Rev: B

Van Heyningen and Howard Architects, 1a Finsbury Square, London EC2A 3DF
T: 020 3302 4464 • info@vha.co.uk

vhh



Section AA



Section BB

0 1 2 3 5m

Issued to James Wain
For Information Only
18-10-2016

VH van der Vliet & van der Vliet
Architects
Studio 101 Studio Block Cafe
Engineers
Drawing 001 Studio Block - Proposed Section AA

Scale	1:200 @ A1	Date	October 2016
Drawn by	CH	Checked by	HC
Project no.	535-L-200	Rev.	0

For information on the project, please contact the architect.
1. 020 200 4448 E. info@vvdv.nl W. www.vvdv.nl

Gibbons, Frances

From: Halisch, Ndai
Sent: 06 December 2016 12:51
To: Mortimer MacSweeney; Ronny Ferley (Ronny.Ferley@richmond.gov.uk)
Cc: Nicolette Duckham; Marc Wolfe-Cowen
Subject: RE: Marble Hill House & Park ; 16/P0219/PREAPP (2 of 2)
Attachments: Appendix 1- maps&vis sources analysis.pdf; Marble Hill stable wall archaeological recording.pdf; Public Benefits of Marble Hill Project AS 021216.docx; SEHouse significance table.docx

Please find the remaining four attachments.

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

APPENDIX 1

ANALYSIS OF CARTOGRAPHIC AND VISUAL SOURCES

1711: 'Scatch' map

The 'Scatch' map of 711 shows the landscape in the area shortly before the construction of Montpellier Row in c.1720. The basic layout of fields is depicted with those to the north and west shown as corn fields, those to the east as fruit and kitchen gardens and those to the south as meadows.

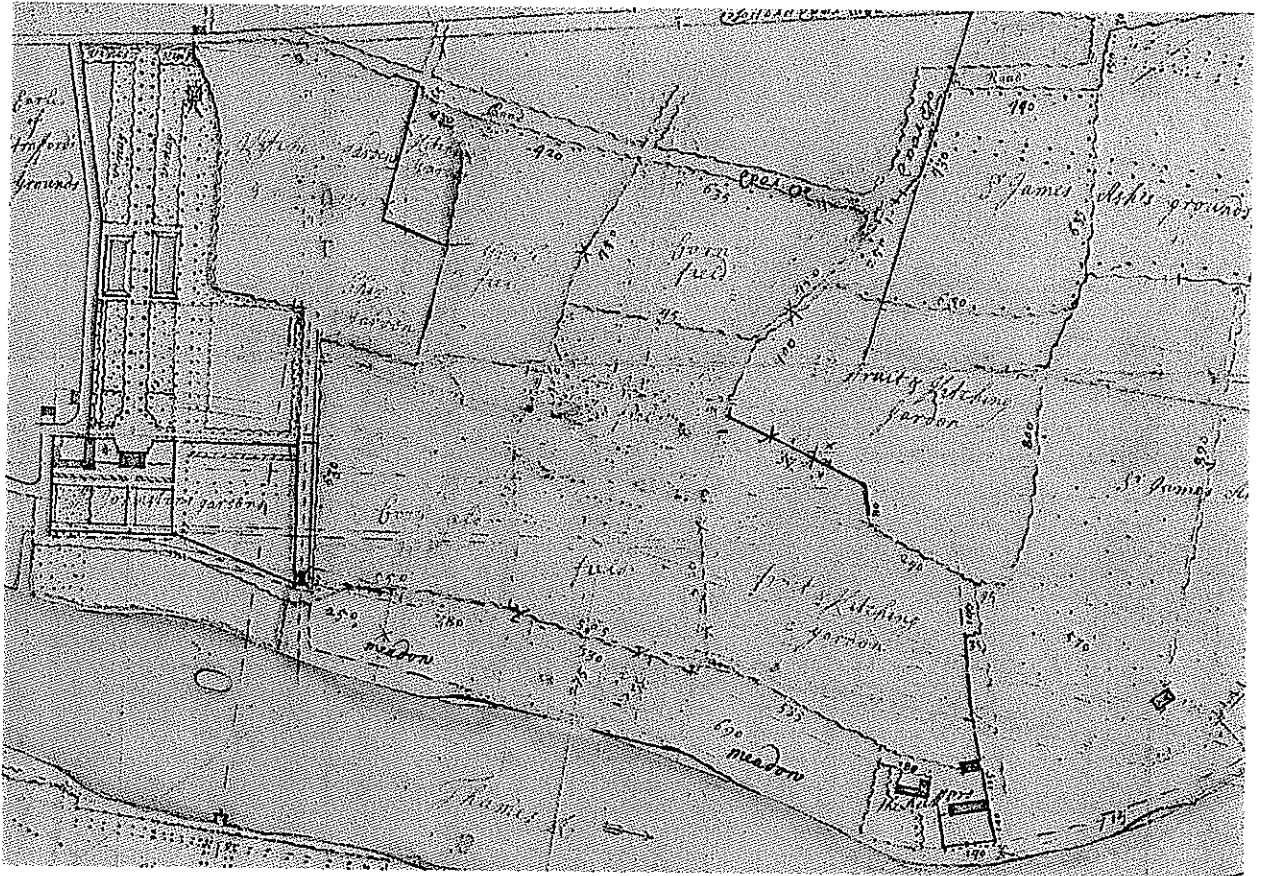


Figure 1 "Scatch of the Grounds of Twitinhame from the Earle of Straffords to Richmond ferry & also the Grounds of Ham. Octob: 1711' by John Erskine, Earl of Mar (National Record of Scotland RHP13256/67)

In Fig.2 Marble Hill stable block is shown superimposed onto the 'Scatch' map to better identify the area where the Montpellier Row and South End House will be located.

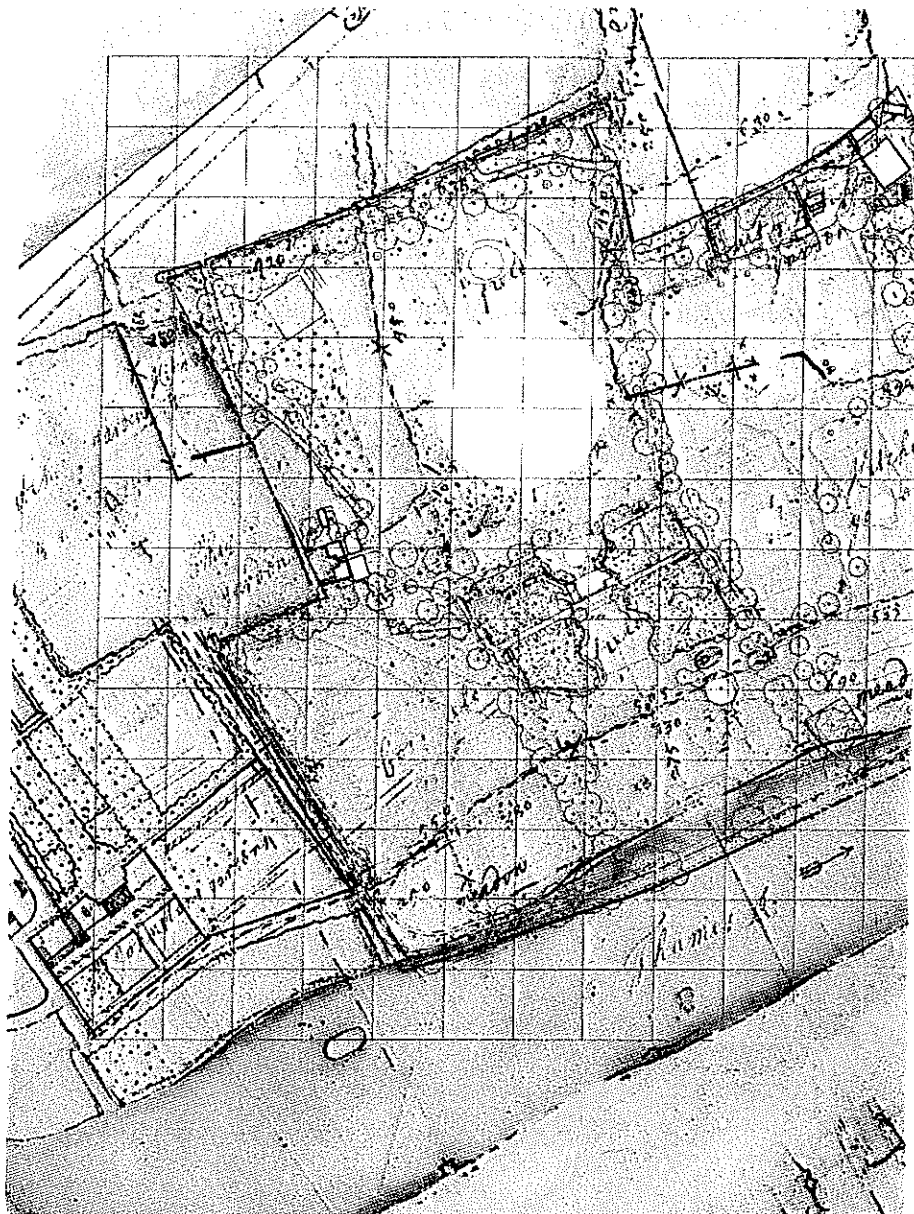


Fig. 2 'Scatch' map showing the position of Marble Hill stable block.

1730s: Tillemans's 'View from Richmond Hill'

Tillemans's view shows Marble Hill House, completed in c.1727, a compact villa painted white, and two large, red brick terraces at Montpelier Row to its north. This view accounts for other built boundary walls and indicates that South End House block was separated from Marble Hill Park by a large hedge and that the land at the south end of Montpelier Row was also bordered by a hedge (Figs.3&4).



Fig.3 Peter Tillemans, *View from Richmond Hill*, c.1730. Government Art Collection.

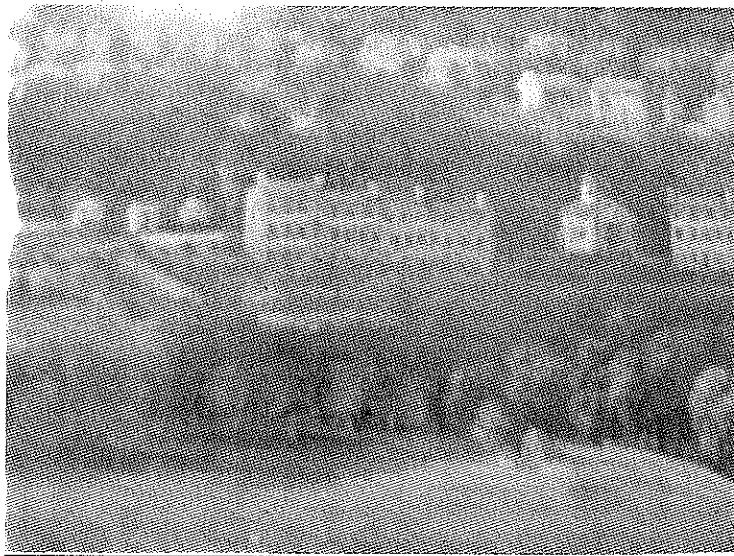


Fig.4 Detail of Peter Tillemans' *View from Richmond Hill*.

1730s: Tillemans's *The Thames at Twickenham*

Tillemans's painting shows a variety of boundary treatments in the area in mid-18th century.

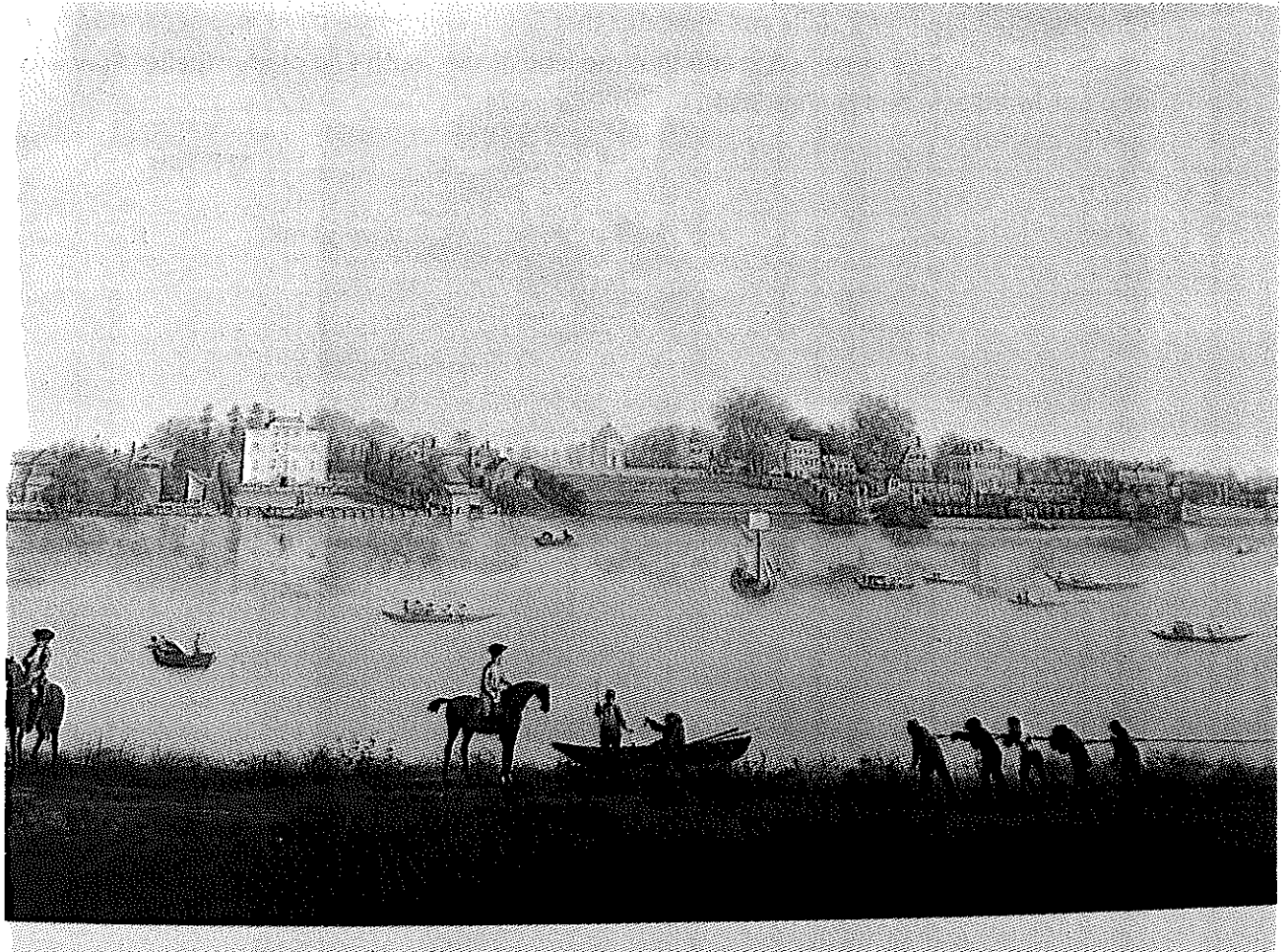


Fig.5 Peter Tillemans, *The Thames at Twickenham*,

1741: Rocque's map

It is John Rocque's map of 1741 (Fig. 6) that seems to have preserved the first known record of the changes introduced to the layout of Montpelier Row since its inception. It shows a line at its south end indicating that by this time it had been closed off from the rest of the street. It is not clear if this was done by introducing a wall on the same line as the existing south wall of the forecourt at the South End House or merely by planting a hedge. There seem to have been open access from the garden to the south of the House into Marble Hill grounds and that there was no wall in the same position as the existing brick boundary structure. No structure is shown in the vicinity of the present gazebo either. Rocque's maps were not based on systematic triangulation and may have errors of details, but some of the local gardens (eg. Pope's villa) appear to be reasonably accurate.

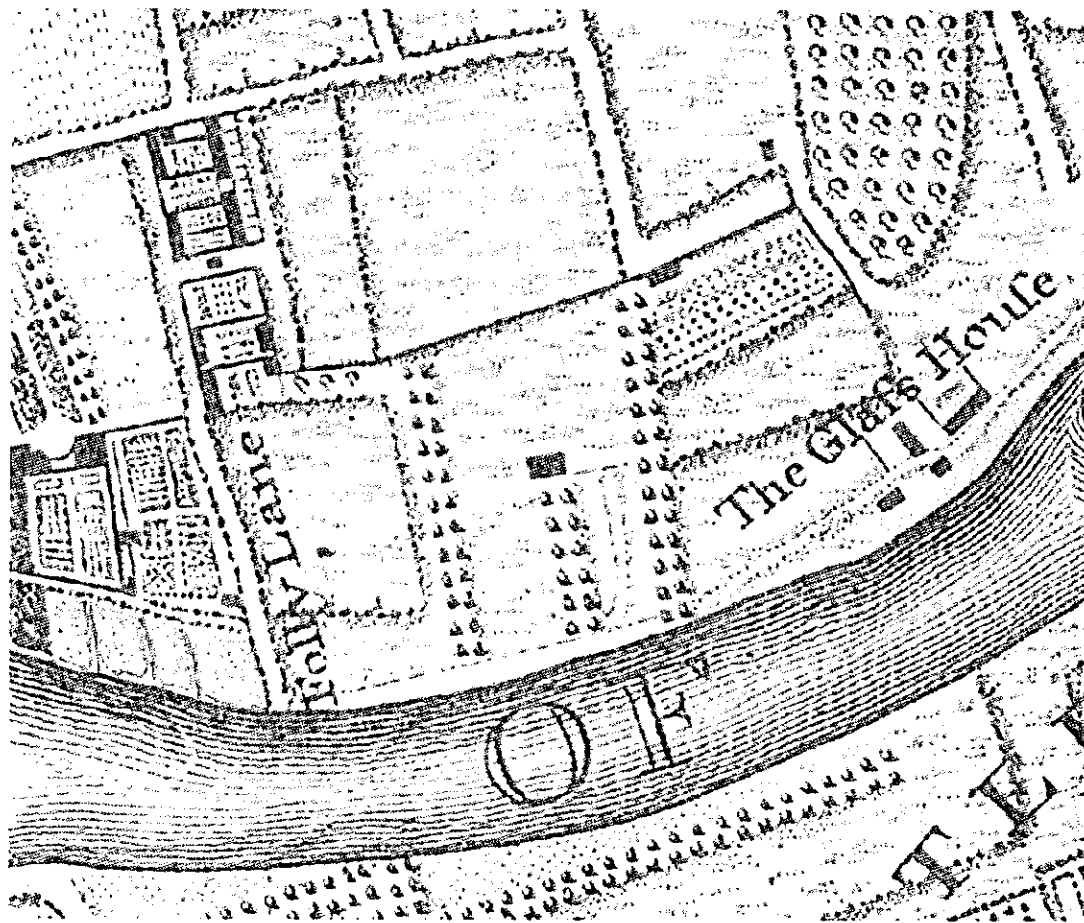


Fig. 6 'Plan of the Cities of London and Westminster and Borough of Southwark and the country near ten miles around', by John Rocque, surveyed 1741-5; published 1746.

1749: Heckel's view of Marble Hill

Although in Heckel's 1749 view of Marble Hill (Fig.7) the South End House is shown at some distance, the image indicates that in the 1740s the field boundaries in the area were marked by hedges rather than masonry walls. No structure is shown in the vicinity of the present gazebo.

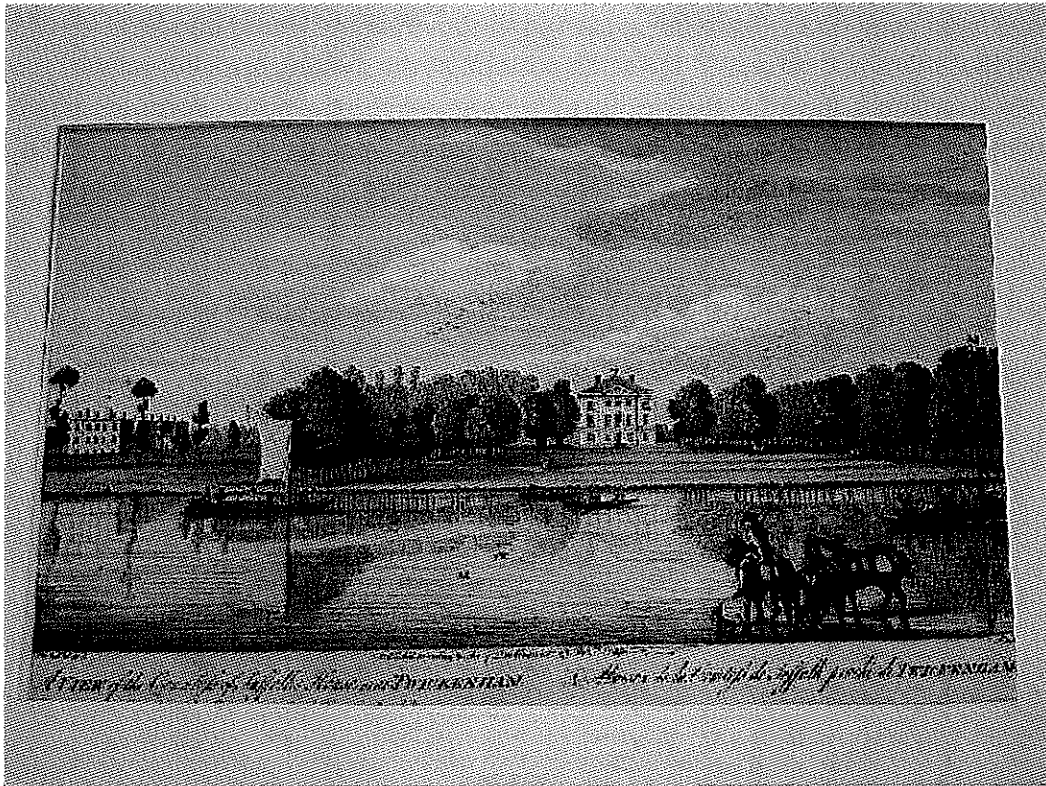


Fig.7 Print by James Mason based on Augustin Heckel's *A View of the Countess of Suffolk's House near Twickenham* (c.1749).



Fig. 8 Detail of Mason's print showing South End House.

1754: Rocque's Map

This map was printed on 4 sheets at a scale of approximately 1:32,500 (1 mile = about 2 inches). Even so it is rather too small scale to be very useful. Perhaps this scale accounts for the confusing fact that the map shows the south end of Montpelier Row free of obstructions and turning round the house to meet the Folly Lane (now Orleans Road). Separation from Marble Hill Park is marked by what looks like a row of trees. No structure is shown in the vicinity of the present gazebo.



Fig. 9 'A Topographical Map of the County of Middlesex' by John Rocque, 1754 (British Library System number 004890676 Shelfmark(s): Cartographic Items Maps 175.t.1.(2.); UIN: BLL01004890676)

c.1784: Lewis' Map

The map by Samuel Lewis indicates that the area to the south of the house was still unenclosed (Fig.10) and not separated from Marble Hill park by a wall. However, this map is not very detailed and accurate.

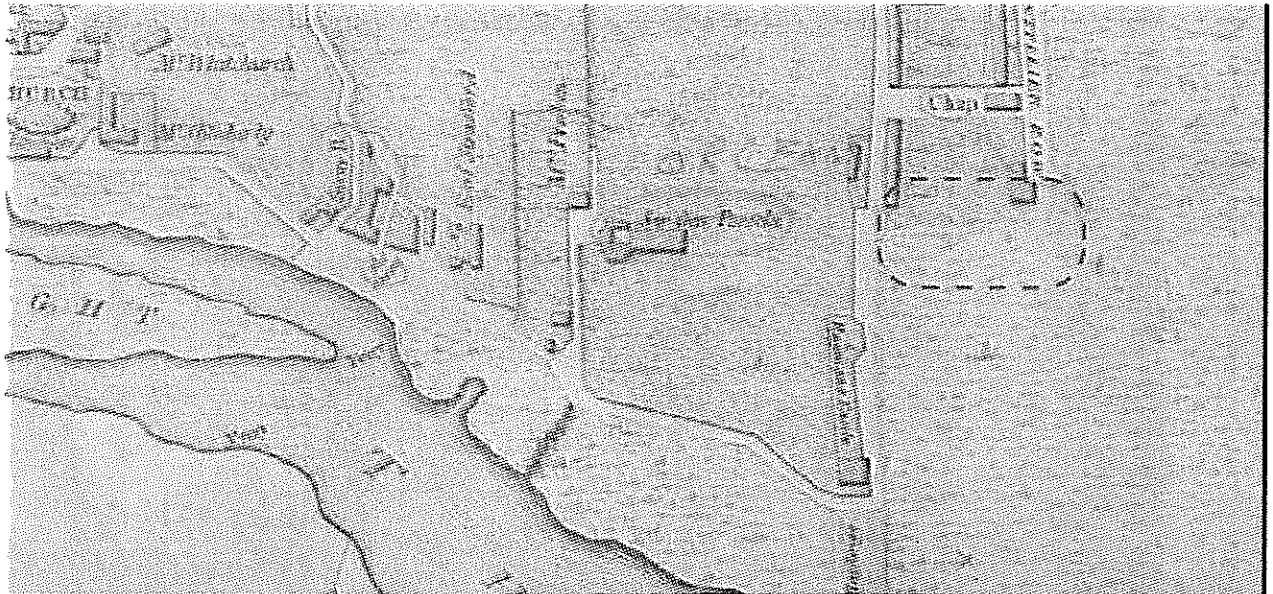


Fig.10 Map by Samuel Lewis 1784.

The Rocque and Lewis' maps are small scale plans with little detail. They show no structures in the south-east corner of the South End House grounds. The archaeological analysis of the gazebo by AOC has shown that it existed by the mid-18th century and was a low-key, one storey structure (perhaps partially serving as an ice-house or food store). It may not have been deemed sufficiently important or large to be recorded. The fact that neither Rocque nor Lewis showed the ice house at Marble Hill, and we know that it existed since c.1730, supports this supposition.

1786: Sauthier's Map

The next known plan showing the situation and surroundings of South End House is the 1786 Sauthier's map (Fig.11). This map is of about the same scale as the Rocque map but provides a little more detail on the layout of the area at the time. It delineates the south garden at the South End House and in the south-east corner of the garden; it shows what appears to be a formal lawn rather than a structure and provides no record of the gazebo. It seems that at this time the boundaries between plots and estates are being formalised. However, the South End House still appears to be part of the terrace rather than a separate residence and its grounds boundary seems to comprise natural features. The thick woodland surrounding the Sweet Walk at Marble Hill created a rather impenetrable boundary between the Park and Montpelier Row estate. William Keene described the Sweet Walk in 1850 as containing 'evergreen oaks, elms, and other forest trees'.

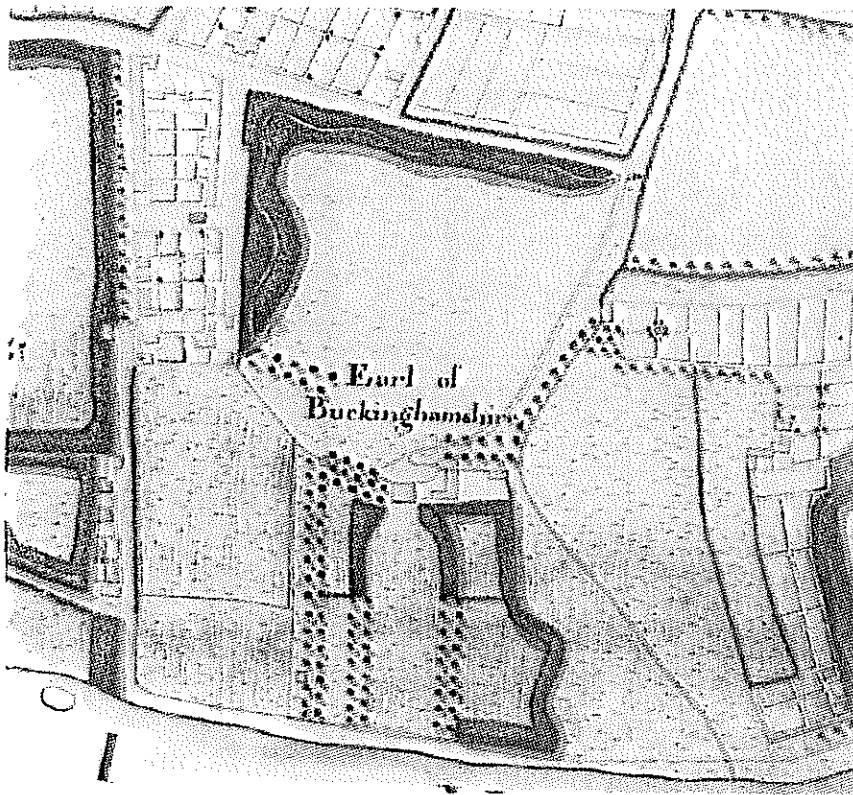


Figure 11. Detail from 'A map of the Manor of Isleworth-Sion in the County of Middlesex belonging to his Grace the Duke of Northumberland' by C.J. Sauthier (1786-7) showing the area between Twickenham and Richmond (Richmond Archive Ref No, CAT_TW/31)

1804: Hampton OSD

The next available map is the OSD of Hampton dated to 1804 (Fig.12). This map shows built structures, including the boundary walls such as that at Ham House, on the other side and to the south of Marble Hill, shaded in pink. The map is quite detailed but neither the east boundary wall nor the Gazebo at South End House is shown.



Figure 12. Detail of the Ordnance Survey Drawing map of Hampton, drawn by William Stanley and published in 1804. British Library, Shelfmark OSD 127; Item Number: 20.

1819: The Greenwood map

The 1819 Greenwood map of Middlesex is rather small scale but may provide some information on the layout of the grounds though its reliability at this level is questionable. It indicates that the separation of Montpelier Row and South End House grounds have by then become more formalised.

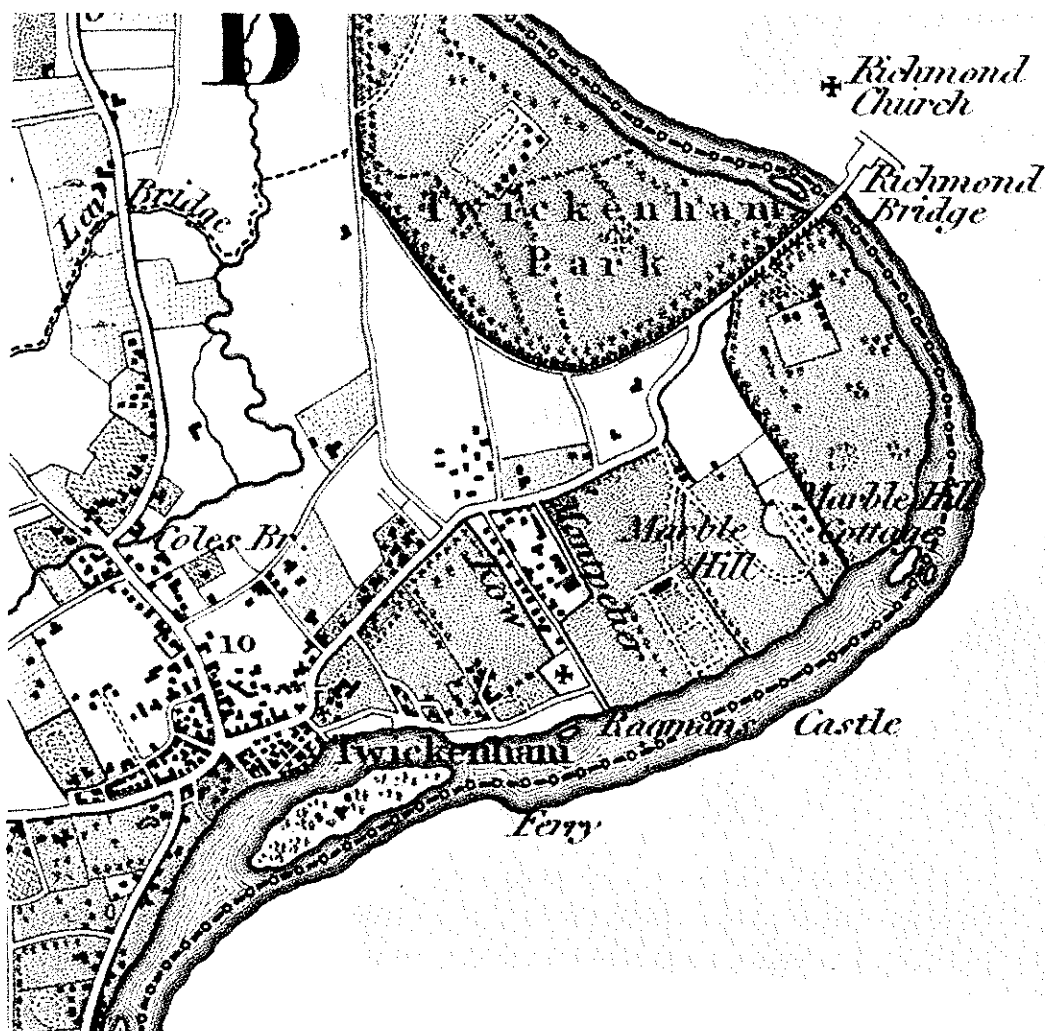


Fig. 13 Detail from south-west sheet of 'Map of the county of Middlesex: 1818-19, published in 1819' by C Greenwood (National Records for Scotland Reference- RHP20636)

1845/6: Warren map

The Warren map of 1846 is on a par with the later OS 6 inch maps and provides considerable detail on the landscape. It clearly shows the demarcation between the South End House plot and that its forecourt was now in place and delineated by a north and south

wall. For the first time it shows the gazebo in the south-east corner of the House's garden. The unbroken line between the garden and Marble Hill stable block probably stands for the boundary wall although overall the built boundary structures are not distinguished from the natural ones like hedges of field borders.

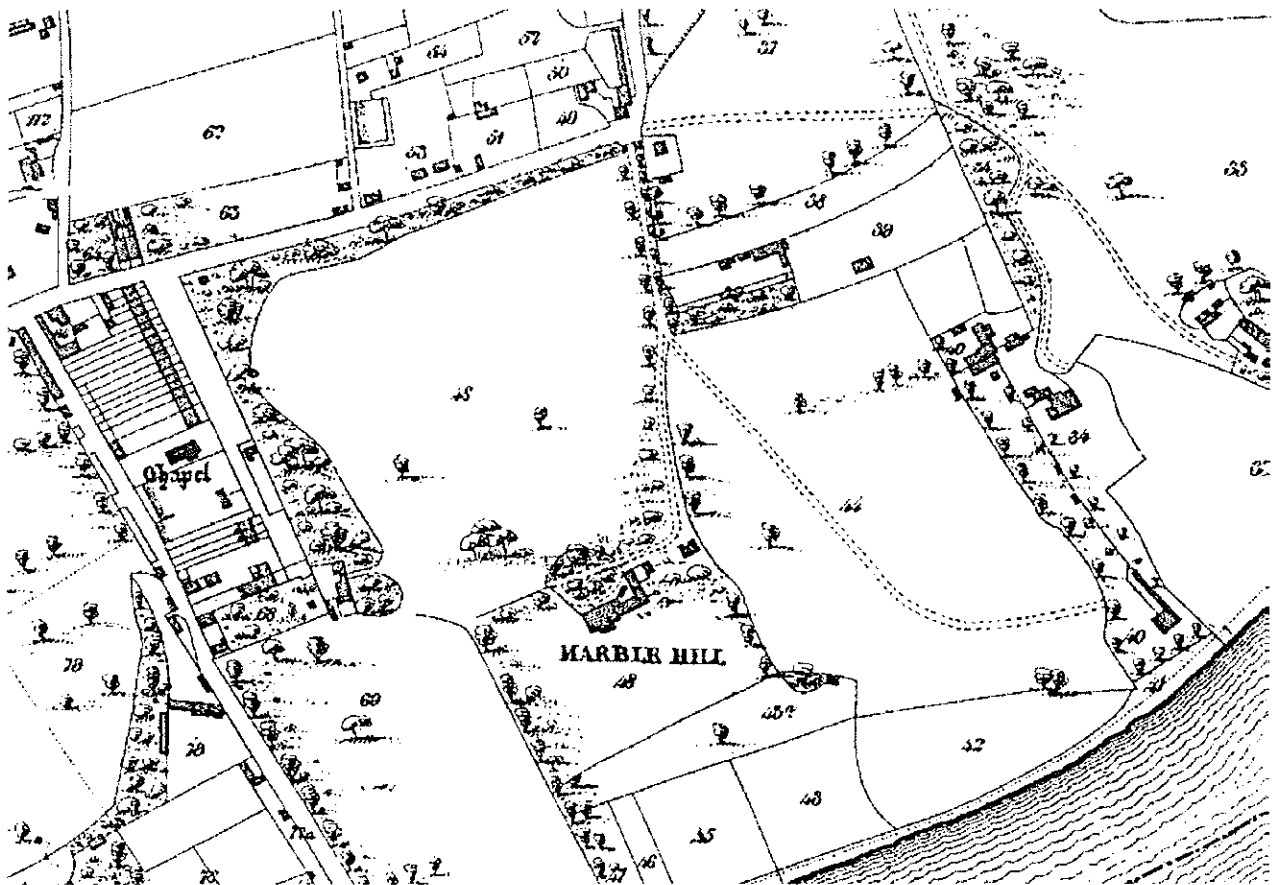


Fig. 14. 'Plan of the Parish of Twickenham, Middlesex ... by ... W.T. Warren', published Isleworth, 1846. Original scale approx 1:4790 (British Library Shelfmark(s): Cartographic Items Maps 4190.(1.), Cartographic Items Maps 9.b.4.; Obsolete shelfmark: 4190.(1.); UIN: BLL01004948123)

1836-70: Tithe Map

(The National Archives IR 77/54, tracing in Historic England Archive Map Room MP/MHH0583,).

Although much less detailed, this map, similarly to the Warren map, shows the gazebo at South End House, its forecourt, the Marble Hill Stable Block and possibly the boundary wall. Once again the map does not make a distinction between masonry walls and natural plot boundaries.

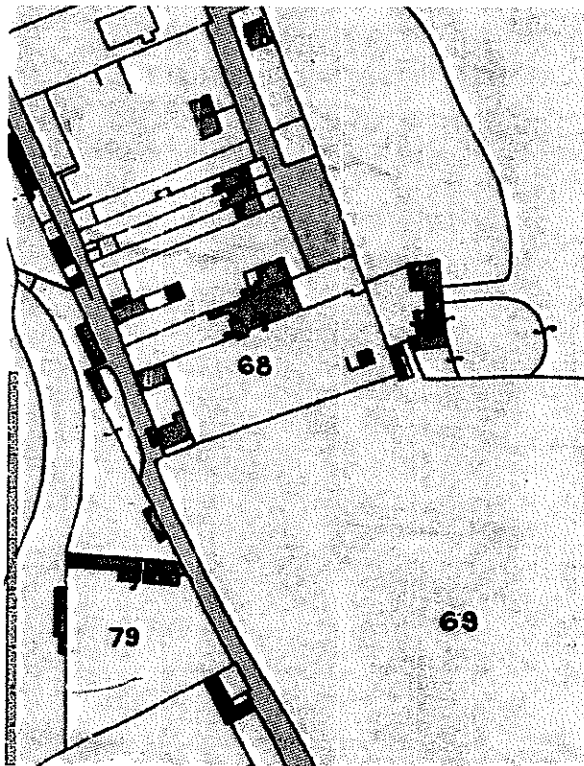


Fig.15 Detail of the Tithe Map for Twickenham parish, Middlesex, c.1836-1870. An award and apportionment made for this tithe district. The National Archives, Kew. Ref. No: IR 18/5550.

1902: South End House Sales catalogue

This plan comes from the catalogue of the sale of the House carried out by Chancellor & Sons. It is detailed and shows the east forecourt, the gazebo surrounded by trees and a path to Marble Hill Park from the forecourt.

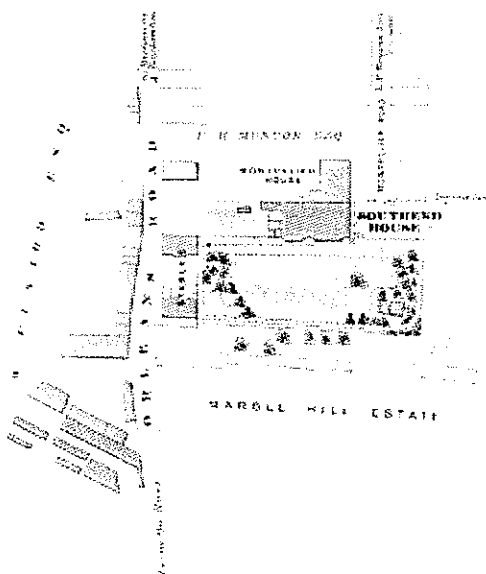


Fig.16 Plan of South End House and its surroundings from the Sale Catalogue dated 21 October 1902. Richmond Local Studied Library; CAT/1822; Record Number: 56279

**STABLE YARD WALL
AT MARBLE HILL,
TWICKENHAM,
LONDON BOROUGH OF
RICHMOND-UPON-THAMES**

Archaeological Investigation

2016

LEE PROSSER
Historic Buildings, Landscape Archaeology

STABLE WALL AT MARBLE HILL, TWICKENHAM, LONDON BOROUGH OF RICHMOND-UPON-THAMES

Archaeological Investigation

Summary

Investigations of the rear stable wall at Marble Hill, Twickenham, London Borough of Richmond-upon-Thames, revealed fabric broadly contemporary with the early 19th century date of the adjacent stable block, but of lesser quality. A considerable length of the wall has been reduced by c.0.75 metres from its original height, with a large former aperture at the northern end blocked in modern brick fabric. A large section of the wall was found to be structurally compromised by a lean of 4 degrees, with much degradation of original mortar and poor quality modern repairs. The northern return of the wall was found to be substantially rebuilt, though at both north and south ends, the short sections abutting the stable remain as constructed, and in fairly good condition.

1 Background and introduction

1.1 This archaeological investigation has been commissioned by English Heritage in order to assess an historic stable yard wall at Marble Hill House, Twickenham, London Borough of Richmond-upon-Thames. The adjacent stable block is Grade II listed (List Entry Number 1357725) and the wall curtilage-listed by date and historical association. The wall is thus designated a heritage asset under the National Planning and Policy Framework.

1.2 The purpose of this assessment is to provide more information about the wall, its context, date, condition and significance.

1.3 The government's objective and policy under the National Planning and Policy Framework (2012) is that heritage assets, including setting should be described in the light of any development proposal. The following assessment addresses this and provides background information by which the future of the site may be gauged and steered.

2 Methodology

2.1 The wall was assessed and recorded by description and photography. Besides the condition of the wall, the contribution of the wall to the setting of the

stables was assessed. Photographs have been reproduced to illustrate the text, below.

3 Location, description and designations

3.1 Marble Hill House lies within an area of parkland, close to the river Thames between the historic centres of Twickenham, and Richmond-upon-Thames. The house is a currently open to the public at weekends, while the park is an important local public amenity. The historic former stable block lies to the west of the house, now partly occupied by a café, with an enclosed yard to the rear, currently used as a car park. The rear wall forms a property boundary with the Grade II* listed South End House, a large mansion in Montpelier Row which was constructed in 1721.

4 Description

4.1 The stable block is a typical early 19th century building of its type, comprising two wings flanking a central carriage arch and surmounted by a small decorative cupola (Plate 1). The arch leads to an enclosed stable yard to the rear, western part of the site, which preserves traces of its original cobbling, though much has been replaced in modern tarmac.

4.2 The wall encloses the yard on three sides, with independent access given from the south via a pair of timber gates framed by tall brick piers. The northern side is also partly open to a garden beyond, but with no trace of gates.

4.3 The rear, west long wall of the yard rises to approximately 1.8 metres in height, and extends to a length of 30 metres (Plate 2). It has a western lean along much of its length of some four degrees from perpendicular. The majority appears to be of one phase, though the northern three metres is of modern construction using recycled brick and cement pointing, and clearly closes a formerly open aperture to the garden of South End House beyond (Plate 6).

4.4 In terms of construction, the majority is built in Flemish bond, though the lowest nine courses (visible to its maximum extent where the ground falls at the southern end) are exclusively of header bond (Plate 3). This may reflect a more substantial foundation, which is flush with the wall on this side; the rear face was not examined. Most of the wall is now capped with a single course of headers in cement, now mostly obscured by dense ivy from the rear. In the northern section, however, approximately three metres of the wall rises a further ten courses to over two metres in height (Plate 4). There is no evidence for any coping stone or particular finish.

4.5 The brick is a variable purple stock with some inclining to an orange hue, but all fairly homogenous in texture with a few creases, but clearly stock-made (Plate 5). Some small inclusions of flint, ash and glass are present. The bricks are of regular

size, measuring 8¾ by 2½ by 4 inches, laid with half-inch joints in a fairly pale lime mortar, now softened and decayed by weathering. One or two distinct repairs in modern cement appear to make good diagonal cracks associated with partial slumping.

4.6 Comparison with the brickwork of the stable suggests chronological similarity. The stable brick is of a more yellow-pink tinge, but this may reflect a lack of weathering and saturation present on the wall. Notwithstanding these slight differences, the dimensions of the brick and inclusions are identical.

4.7 The northern arm of the wall abuts the stable with a straight joint and is battered to its exterior face at lower level. The western end is much rebuilt (Plate 7), but the lower bricks are consistent with the main building. The upper brickwork appears to have been reconstructed using a mixture of original fabric and recycled industrial stocks.

4.8 The southern return of the wall is now partly separated from the rest of the yard by a modern timber fence. It extends on either side of the gateway noted above (Plate 8). That to the east, abutting the stable with a straight joint is battered to its external face in the same manner as its northern counterpart, but preserves its original height and internal pointing, which has been protected from weathering and so remains in good condition (Plate 9). The western section has been much repointed in modern materials to its internal face, but rises to the original height seen at the northern end of the long wall. The external face of this section is mostly obscured by ivy.

5 Discussion and Recommendations

5.1 The homogenous nature of the brick suggests that the yard walls are contemporary with the early 19th century stables and not associated with the 18th century walls which delineate the boundary of South End House further to the south. There is, however much evidence of modification and decay. The two sections nearest to the stable building on the north and south bear similarities in being battered to the outer face and of identical brick, though the southern arm of the wall retains greater height. The long west wall probably used a lesser quality brick, as is commonly found for more utilitarian structures, but the dimensions and fabric suggest that they are of the same period. The wall has been modified by a reduction in height, probably in response to its structural failure, together with the modern blocking of an earlier aperture at the northern end and the partial rebuilding of the northern return.

5.2 The yard walls retain some significance in their relationship to the stable block but are not intrinsically significant in their own right, being subject to much modification. Yards are integral elements to stables, however, giving a sense of

enclosure and discrete screening of their activities from the park and house. The most significant fabric, in terms of degree of preservation comprises the short arm nearest on the south, extending from the building to the gate pier and this should be retained in order to preserve a sense of the original enclosure of the yard. The historic integrity of the yard could also be enhanced by the repair or rebuilding of the long west wall and the exposure of original cobbles.



Plate 1 View of the stable block from the south-east,



Plate 2 View of the long, western yard wall from the east.



Plate 3 Southern end of the long western yard wall showing repaired crack and slumping to the north. Viewed from the east

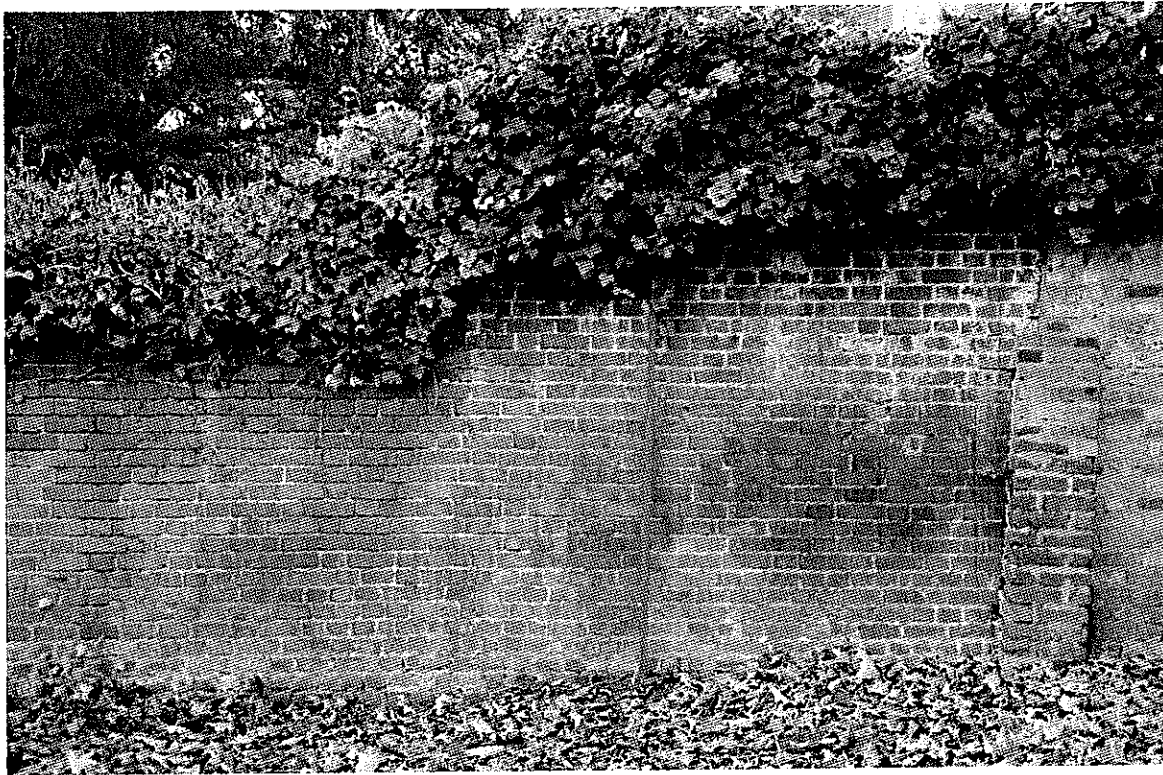


Plate 4 Northern end of the long western wall showing rise and buttress marking newer section to right.



Plate 5 Brickwork detail



Plate 6 Northern end of the long western yard wall with later blocking.
Viewed from the east.



Plate 7 Northern return of the yard wall. View from the south-east.



Plate 8 Gate piers framed by the southern return of the yard wall; internal view from the north.



Plate 9 Southern wall, abutting the stable block.
View from the north-west.

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Lee_prosseruk@yahoo.co.uk

Public Benefits of Marble Hill Project

At present both the Marble Hill House and its grounds do not meet their potential as a heritage asset and tourist attraction and the site incurs a substantial annual loss. To address this issues English Heritage Trust is developing a large project involving restoration and repairs to the grade I listed Marble Hill House and its historic landscape and introducing new interpretation integrating the House and its surroundings. It also proposes some internal alterations and extension of the 19th-century Stable Block to improve the catering and retail offer for the whole site.

The project will improve the state of knowledge, appearance and appreciation of the site and its history and enhance its community and social values by engaging new and diverse audiences and offering opportunities for development of work-related skills by providing a variety of apprenticeships.

The project will deliver multiple public benefits as follows:

Marble Hill Park:

- Develop the relationship between features of heritage significance and healthy living through sport and recreation.
- Promote understanding of the historic development, design and character of Marble Hill as an integrated estate, rather than an aggregate of random and isolated built and natural features.
- Enhance the knowledge of Marble Hill landscape history through research.
- Promote the importance of Marble Hill landscape through new interpretation.
- Enhance the setting of built heritage assets within the park and views and vistas to and from the House and the River Thames.
- Develop a programme of Archaeology to inform and refine future proposals and community engagement projects.
- Diversify audiences and create landscape-focused community engagement projects.
- Improve accessibility of path network and resurface to improve the setting of the house.
- Rationalise site furniture across the park.
- Enhance the enjoyment of the park and its facilities for all users and visitors.
- Consider climate change adaptation due to new planting programmes and management strategies.
- Explore opportunities for managed extensive volunteer landscape-focused projects.
- Enhance the biodiversity across the site.
- Promote the importance of Marble Hill in the context of the Thames Landscape Strategy and adjacent parks and open spaces.
- Develop tree and woodland management strategies that restore the character of these areas and introduce a comprehensive planting programme to ensure the growth of a successional landscape for future generations.

- Promote the need to develop proposals with biosecurity in mind.
- Consider opportunities of sustainable urban drainage across the park.
- Maintain and enhance park boundaries to create more welcoming entrance to the park.
- Anti-social behaviour will be reduced through quality design, community engagement and education programme

Marble Hill House:

- The house will be opened to the public on free flow basis and free of charge.
- Through new research the house will be better understood, appreciated and interpreted.
- The fabric of the house will be repaired and restored.
- Systems and services will be upgraded.
- Physical access to the house will be enhanced by various measures including installation of the platform lift to the 1st floor.
- A variety of volunteer roles will provide opportunities for development of skills.

Stable Block

- Interiors of Stable Block will be renovated, unsympathetic 20th-century additions removed and original features repaired and conserved.
- The proposal will re-establish some of the historic openings in the rear elevations of the Stable Block. This will enhance the evidential and aesthetic values of the building.
- The modern asphalt in the Stable Block yard will be removed, and the underlying historic stone setts below repaired and conserved.
- The historic boundary wall at the Stable Block has been recorded and researched to enhance the understanding of its history, development and significance.
- The structural integrity of this historic boundary wall is undermined at present, and as part of this project it will be carefully rebuilt and strengthened to prevent its collapse and protect the heritage significance of a partition on this line.
- A boundary wall to the Montpelier House car park will be constructed, thus increasing the privacy and security of this area.
- Landscaping improvements around Stable Block will include demolition of the two unsightly raised lawns in front. The concrete paved terrace used by the café will be replaced with a permeable, natural surface with a good quality fence replacing the present poor quality timber fence.
- The dog-free area to the south of the Stable Block is used by those with small children, and this area will be enhanced by the landscape works.
- The full catering kitchen at the Stable Block will provide fresh and seasonal hot and cold food, made on the premises to all park users and visitors to the house. In addition to the main servery, a small external 'kiosk' hatch will be provided to allow customers to buy ice-cream and drinks without entering the café proper. This will enhance the catering offer within the park.

- The café at the Stable Block will provide a better working environment for staff and the kitchen will provide suitable facilities and space to allow it to be used for the apprenticeship and training.
- An external area for display of plants at the Stable Block will support horticultural apprenticeships and training planned on site.
- It is planned to minimise the water and energy used by the new facilities in the Stable Block, and use sustainable urban drainage techniques to mitigate rain water run-off.
- The Stable Block will be better appreciated, and its history and importance in the development of Marble Hill better studied and understood. New research has provided a better understanding of how John Peel used and developed Marble Hill during his occupancy and allowed us to trace the architectural changes to the building. These findings have been recorded in the Conservation Management Plan for the site and will inform its constructive and sustainable management.
- The redeveloped Stable Block will provide a friendly and attractive environment for park users and visitors thus enhancing the community value of the site.

Table 1 Overall Significance of Heritage Assets

Asset Name	Architectural & Aesthetic values	Historic & Evidential Values	Communal Values	Overall Significance
Montpelier Row	High	High	High	High
South End House	High	High	Moderate	High
Contribution of setting of SE House	Moderate	Moderate	Neutral	Moderate
Gazebo	Moderate	Moderate	Some	Moderate
Boundary wall	Some	Moderate	Some	Moderate

Table 2. Magnitude of impacts on the significance of South End House and associated heritage assets.

Asset Name	Impact on Architectural & Aesthetic value	Impact on Historic & Evidential Value	Impact on Communal Value	Overall Impact
Montpelier Row	None	None	None	None
South End House	None	Moderate	None	None
Contribution of setting of SE House	Some	Moderate	None	None
Gazebo	None	Minor	None	None
Boundary wall	Some	Moderate	Substantial	Moderate

Table 3.

Asset Name	Overall Significance	Overall Impact	Harm
Montpelier Row	High	None	Less than substantial
South End House	High	None	Less than substantial
Contribution of setting of SE House	Moderate	Minor	Less than substantial
Gazebo	Moderate	None	Less than substantial
Boundary wall	Some	Moderate	Less than substantial

4
Gibbons, Frances

From: Ronny Ferley <Ronny.Ferley@richmond.gov.uk>
Sent: 06 December 2016 13:39
To: Halisch, Ndai
Subject: RE: Marble Hill House & Park ; 16/P0219/PREAPP (2 of 2)

Follow Up Flag: Follow up
Flag Status: Flagged

Many thanks.

Kind regards

Ronny Ferley

From: Halisch, Ndai [mailto:Ndai.Halisch@english-heritage.org.uk]
Sent: 06 December 2016 12:51
To: Mortimer MacSweeney; Ronny Ferley
Cc: Nicolette Duckham; Marc Wolfe-Cowen
Subject: RE: Marble Hill House & Park ; 16/P0219/PREAPP (2 of 2)

Please find the remaining four attachments.

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Mortimer MacSweeney [mailto:Mortimer.Macsweeney@richmond.gov.uk]
Sent: 09 November 2016 14:58
To: Halisch, Ndai
Cc: Nicolette Duckham; Marc Wolfe-Cowen
Subject: RE: Marble Hill House & Park ; 16/P0219/PREAPP

Dear Ndai,

Thank you for your e-mail of 7th Nov.

We have considered your suggestion of a joint review of our observations on the significance of Southend House, its gazebo in its garden setting, and the brickwork boundary wall to Marble Hill Park. We have visited the site again to check all relevant features. My principal conservation officer has inspected the grounds and gazebo of Southend House, and our urban design officer who is very mindful of the specific setting of the stable block in the context of Marble Hill House. You can be assured we have taken a considered view on the current design proposals in this very sensitive location.

Kind regards,

Mortimer MacSweeney
Conservation Officer
Planning, London Borough of Richmond Upon Thames
Tel: 020 8891 7941
Email: Mortimer.macsweeney@richmond.gov.uk
Web: www.richmond.gov.uk/planning

Working Monday and Tuesday only

Think of the Environment! Do you need to print this email?

From: Halisch, Ndai [<mailto:Ndai.Halisch@english-heritage.org.uk>]
Sent: 07 November 2016 09:37
To: Mortimer MacSweeney; Ronny Ferley
Cc: Sadraei, Agnieszka
Subject: RE: Marble Hill House & Park ; 16/P0219/PREAPP

Dear Mortimer

We are writing with regard to your comments on English Heritage's proposal to construct an extension at the rear of the Stable Block at Marble Hill.

We have welcomed and considered your comments on the impact of the proposal on the setting of the grade II* listed South End house and its curtilage structures: the boundary wall and the 'gazebo'. We are now carrying out some additional research into the history of these structures and would like to arrange a site meeting between Dr Agnieszka Sadraei, our Senior Properties Curator (London) and yourself

We hope you will be happy to agree to this meeting and look forward to hearing from you.

At present Agnieszka's availability is as follows:

November:
14th - all day
15th - after 2pm
29th - 9-11am

Agnieszka is copied in this email so that you can liaise with her directly to agree mutually convenient date.

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442



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From: Josh McCosh [<mailto:Josh@vhh.co.uk>]

Sent: 26 October 2016 20:51

To: Ronny Ferley

Cc: Mortimer MacSweeney; Sydney, Alex; Halisch, Ndai

Subject: Re: Marble Hill House & Park ; 16/P0219/PREAPP

Dear Ronny

Thank you for these comments, which we will of course discuss with our client and see if we can meaningfully address.

I assume the procedural questions have been answered in a separate e mail. If not we'd appreciate your response to them at your earliest convenience.

Yours

Josh

James McCosh. Partner, van Heyningen and Haward, e-mail sent from my mobile.

van Heyningen and Haward Architects

1A Harwood St, London, NW1 8DN

Our telephone number is:

t 020 3362 4488

On 26 Oct 2016, at 10:58, Ronny Ferley <Ronny.Ferley@richmond.gov.uk> wrote:

Good morning Ndai

Sorry for the slight delay, I have been able to discuss the proposed scheme further with our Conservation Team and please see their response below. I am still waiting to hear back from our Transport Team unfortunately so cannot provide a more detailed answer but, I will update you as soon I get their response.

Please feel free to react/response to the comments. Thank you.

Kind regards

Ronny Ferley

Planning Officer – South Area Team

Serving Richmond and Wandsworth Councils

Telephone: 0208 891 1411 Email: ronny.ferley@richmond.gov.uk

Websites: www.richmond.gov.uk/planning / www.wandsworth.gov.uk/planning

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Gibbons, Frances

From: Ronny Ferley <Ronny.Ferley@richmond.gov.uk>
Sent: 09 December 2016 16:33
To: Halisch, Ndai
Cc: Josh McCosh
Subject: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL

Follow Up Flag: Follow up
Flag Status: Flagged

Good afternoon Ndai/Josh

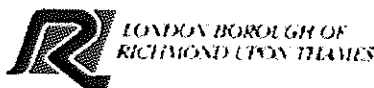
Hope you are both doing well, this is just a quick e-mail to let you know that in light of the new information we have received from you since the meeting, we are unable to consider and review them as part of the pre-app letter unless an additional fee is paid to reflect the extra amount of time that officers (myself, Mortimer and Mary) have spent to review them.

As I am looking to close this pre-app before the Christmas break, so can you please indicate that you will be happy to make the additional payment before we send you the letter?

Many thanks.

Kind regards

Ronny Ferley
Planning Officer – South Area Team
Serving Richmond and Wandsworth Councils
Telephone: 0208 891 1411 **Email:** ronny.ferley@richmond.gov.uk
Websites: www.richmond.gov.uk/planning / www.wandsworth.gov.uk/planning



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Gibbons, Frances

From: Lucy Thatcher <L.Thatcher@richmond.gov.uk>
Sent: 21 December 2016 17:21
To: Sydney, Alex
Subject: RE: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL

Dear Alex

Sorry I couldn't speak earlier - I have a meeting with the relevant team leader tomorrow at 2pm, so will give you an update straight after.

Regards

Lucy

From: Sydney, Alex [mailto:Alex.Sydney@english-heritage.org.uk]
Sent: 19 December 2016 12:14
To: Lucy Thatcher
Cc: Halisch, Ndai
Subject: RE: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL

Hi Lucy

I wonder if it would be possible for you to give me a call back about this query – I've tried calling again today, but you weren't available. I do appreciate how busy you are so I am genuinely sorry that I need to speak to you about something that should be easy to resolve at a case officer level.

Alex

Alex Sydney | Head of Investment & Involvement

24 Brooklands Avenue | Cambridge | CB2 8BU

Direct Line: 01223 582727

Mob: 07722 984198

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From: Sydney, Alex
Sent: 12 December 2016 15:42
To: Lucy Thatcher (L.Thatcher@richmond.gov.uk)
Cc: Halisch, Ndai
Subject: FW: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL
Importance: High

Hi Lucy

Thanks for taking the time to speak to me on Thursday about our pre-application for the Marble Hill Revived project.

I'm not sure whether or not you have yet managed to speak to Ronny Ferley following our conversation, but the following day we received the response below from him about the appraisals of the significance of and impact on the Heritage Assets which are affected by our proposed scheme.

I wonder if it would be possible to speak again about the proposals and about what is being asked for here. Whilst we appreciate the time which would be required for the relevant officers to review the information we have provided, and whilst we would potentially not be adverse to paying if this time was really that significant, we are nervous about committing to an additional (as yet unspecified) payment when we have not yet received answers to any of our initial questions which all form part of the pre-application process and should be included within the original fee.

I should however say that I'm grateful for Ronny's commitment to wrap up this pre-app before Christmas, and we certainly don't want to do anything to hold the process up, so we would certainly like to work with you to achieve this if at all possible.

I'm at my desk between now and 4pm, or from 5pm until at least 6pm if either would be convenient.

Best wishes

Alex

Alex Sydney | Head of Investment & Involvement

24 Brooklands Avenue | Cambridge | CB2 8BU

Direct Line: 01223 582727
Mob: 07722 984198

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www.twitter.com/EnglishHeritage

From: Ronny Ferley [<mailto:Ronny.Ferley@richmond.gov.uk>]
Sent: 09 December 2016 16:33
To: Halisch, Ndai
Cc: Josh McCosh
Subject: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL

Good afternoon Ndai/Josh

Hope you are both doing well, this is just a quick e-mail to let you know that in light of the new information we have received from you since the meeting, we are unable to consider and review them as part of the pre-app letter unless an additional fee is paid to reflect the extra amount of time that officers (myself, Mortimer and Mary) have spent to review them.

As I am looking to close this pre-app before the Christmas break, so can you please indicate that you will be happy to make the additional payment before we send you the letter?

Many thanks.

Kind regards

Ronny Ferley
Planning Officer – South Area Team
Serving Richmond and Wandsworth Councils
Telephone: 0208 891 1411 **Email:** ronny.ferley@richmond.gov.uk
Websites: www.richmond.gov.uk/planning / www.wandsworth.gov.uk/planning



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From: **Neil Davidson** neil@jlg-london.com
Subject: **581_Marble Hill Revived - tree review**
Date: 9 January 2017 at 16:46
To: **Jane Crowther** jane.crowther@richmond.gov.uk
Cc: **Watkins, John** John.Watkins@english-heritage.org.uk, **Parker, Emily** Emily.Parker@english-heritage.org.uk,
Victoria Black (victoria@jlg-london.com) victoria@jlg-london.com, **Stefan Rose** srose@cbatrees.co.uk

Dear Jane,

Thank you for meeting with us on Friday it was very useful for us and I hope it was helpful for you too.

You mentioned that you would take some time to consider our proposals before providing feedback as part of the pre-application process. If you have any questions or points of clarification that you would like answered please let me know. As I mentioned we are planning to present the project at a public consultation event on the 25th of January and need to have our ducks in a row for then.

The planning officer who has been dealing with our pre-application is Ronny Ferley - reference 16/PO219/PREAPP

If you would like to put us in touch with your ecologist colleague we would be happy to have a conversation with them too.

Kind regards,

Neil

NEIL DAVIDSON
FOR AND ON BEHALF OF
J & L GIBBONS LLP
19 SWAN YARD
LONDON
N1 1SD

T: 020 7226 1345
E: neil@jlg-london.com
W: www.jlg-london.com

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From: **Jane Crowther** Jane.Crowther@richmond.gov.uk
Subject: **RE: 581_Marble Hill Revived - tree review**
Date: **16 January 2017 at 12:20**
To: **Neil Davidson** neil@jlg-london.com



Hi Neil,

Thank you for your e-mail and walk around Marble Hill Park. Apologise for the slow reply, it's a busy time at the moment.

Unfortunately I am not able to provide any feedback at this time as it might compromise the Councils position and my involvement with any subsequent planning submission.

Sorry if this appears unhelpful but this advice from a senior manager on the Parks side.

Jane Crowther

Jane Crowther
Arboricultural Officer
Serving Richmond and Wandsworth Councils
Tel: 0208 891 1411
jane.crowther@richmond.gov.uk

From: Neil Davidson [<mailto:neil@jlg-london.com>]
Sent: 09 January 2017 16:46
To: Jane Crowther
Cc: Watkins, John; Parker, Emily; Victoria Black (victoria@jlg-london.com); Stefan Rose
Subject: 581_Marble Hill Revived - tree review

Dear Jane,

Thank you for meeting with us on Friday it was very useful for us and I hope it was helpful for you too.

You mentioned that you would take some time to consider our proposals before providing feedback as part of the pre-application process. If you have any questions or points of clarification that you would like answered please let me know. As I mentioned we are planning to present the project at a public consultation event on the 25th of January and need to have our ducks in a row for then.

The planning officer who has been dealing with our pre-application is Ronny Ferley - reference 16/PO219/PREAPP

If you would like to put us in touch with your ecologist colleague we would be happy to have a conversation with them too.

Kind regards,

Neil

NEIL DAVIDSON
FOR AND ON BEHALF OF
J & L GIBBONS LLP
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4

Gibbons, Frances

From: Ronny Ferley <Ronny.Ferley@richmond.gov.uk>
Sent: 20 January 2017 14:38
To: Halisch, Ndai
Cc: Josh McCosh
Subject: RE: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Ndai

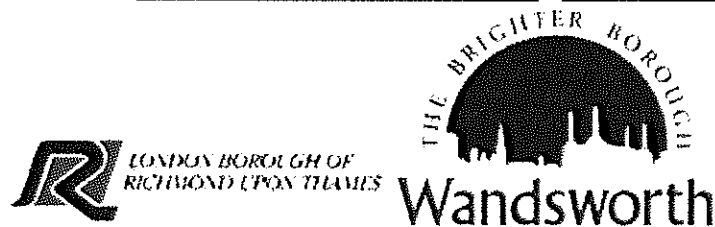
The information I gave you yesterday has been verified by my Area Team Manager Nicki Dale, who has confirmed what I told you. We have incorporated this in the letter which would follow very shortly.

Many thanks.

Kind regards

Kind regards

Ronny Ferley
Development Management Planning Officer – South Area Team
Planning and Transport Division
Serving Richmond and Wandsworth Councils
Telephone: 0208 891 1411 **Email:** ronny.ferley@richmond.gov.uk
Websites: www.richmond.gov.uk/planning / www.wandsworth.gov.uk/planning



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From: Halisch, Ndai [<mailto:Ndai.Halisch@english-heritage.org.uk>]
Sent: 19 January 2017 10:36
To: Ronny Ferley
Subject: RE: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL
Importance: High

Dear Ronny

Further to our discussion, I want to confirm that I understood you correctly:

If the development is not complying with BREEAM or Part L, the planning application must include an Energy Report. You advised that we need to complete a sustainability form from your website to cover the Breeam and Part L question for the validation process. For the avoidance of doubt is the attached, the form the one you were referring to?

You were going to check with the validation officer that the completion of the attached form will satisfy the lack of a Breeam report at the time the application is being assessed by the validation officer.

I look forward to your comments.

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Ronny Ferley [<mailto:Ronny.Ferley@richmond.gov.uk>]

Sent: 16 January 2017 17:27

To: Halisch, Ndai

Subject: RE: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL

Hello Ndai

Hope you're well. The letter is ready to be sent out but Lucy is not in today to sign it off nor is my team leader

I will remind Lucy first thing tomorrow. I have been told that you have been communicating directly with her, so my apologies if you have not been informed about the progress.

Many thanks.

Kind regards

Ronny Ferley

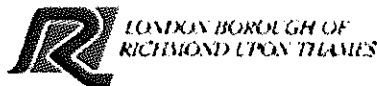
Development Management Planning Officer – South Area Team

Planning and Transport Division

Serving Richmond and Wandsworth Councils

Telephone: 0208 891 1411 **Email:** ronny.ferley@richmond.gov.uk

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From: Halisch, Ndai [<mailto:Ndai.Halisch@english-heritage.org.uk>]

Sent: 16 January 2017 17:00

To: Ronny Ferley

Subject: RE: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL

Hello Ronny

Please could you update me on the status of our formal pre-application advice. I have left some messages for you but I have not heard back.

Thank you

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442



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From: Halisch, Ndai

Sent: 19 December 2016 12:27

To: 'Ronny Ferley'

Subject: RE: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL

Hello Ronny

In order that we may give you a definitive response about whether or not we would be prepared to pay an additional fee to allow officers to review the paperwork we have sent you, it would be helpful if you could quantify the amount you would require. Are you able to provide me with this information by return?

Kind regards

Ndai Halisch | Project Manager | Estates

07584 591 442

From: Ronny Ferley [<mailto:Ronny.Ferley@richmond.gov.uk>]

Sent: 09 December 2016 16:33

To: Halisch, Ndai

Cc: Josh McCosh

Subject: 16/P0219/PREAPP - Marble Hill House Marble Hill Park Richmond Road Twickenham TW1 2NL

Good afternoon Ndai/Josh

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Many thanks.

Kind regards

Ronny Ferley

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